

BEFORE THE HISTORIC PRESERVATION COMMISSION  
OF THE CITY OF JACKSONVILLE

CERTIFICATE OF APPROPRIATENESS APPLICATION NO.: **COA-18-21064**

IN RE: The Certificate of Appropriateness Application of

**Hoose Homes and Investments, LLC**  
**2900 College Street**  
**Jacksonville, FL 32205**

**ORDER ON COA-18-21064 APPROVED with CONDITIONS**

This matter came to be heard upon the Certificate of Appropriateness (COA) Application filed by **Hart Resources, LLC**, on behalf of **Hoose Homes and Investments, LLC**, the owner of certain real property located at **2900 College Street (R.E. #064616-0000 and #064622-0000)**, seeking approval for a **20 lot single family subdivision with 19 homes**.

Having duly considered the evidence presented at the public hearing on **August 22, 2018**, including the Report of the Planning and Development Department and all attachments thereto ("Staff Report"), a portion of which is **attached hereto** as **Exhibit "A"**, and **on file** in its entirety in the Planning and Development Department, and additional evidence presented by the applicant **attached hereto** as **Exhibit "B"**, the Historic Preservation Commission of the City of Jacksonville hereby adopts and incorporates herein the recommendations of the Staff Report, as superseded by this Order where applicable, and

**FINDS AND DETERMINES:**

1. That the applicant has complied with all application requirements set forth in Section 307.106 of the City of Jacksonville Ordinance Code;
2. That substantial competent evidence demonstrates that application **COA-18-21064** meets, to the extent applicable and as modified by any conditions contained herein, the standards and criteria set forth in Section 307.106 of the City of Jacksonville Ordinance Code;
3. The Commission adopts the Report of the Planning and Development Department for **COA-18-21064**, as superseded by this Order where applicable; and
4. That the land which is the subject of this application **COA-18-21064** is owned by **Hoose Homes and Investments, LLC**.

**NOW THEREFORE**, it is **ORDERED** by the Historic Preservation Commission:

Application **COA-18-21064** is hereby **APPROVED** and subject to the following **CONDITIONS**:

**A. Regarding the request for a 20 lot single family subdivision with 19 homes, the following conditions shall apply:**

**1. There shall be an additional design of a one and one half story home, to be included in the front lots along College Street, and shall be used at least once as a constructed house, for diversity.**

**2. There shall be more diversity in front porch width and design for the structures that front on College Street. This may include reversing the design so the “rear” porch faces College Street.**

**3. There shall be no subdivision or neighborhood signage. The project should blend with, and be considered part of the neighborhood.**

**4. The rear corner lots should engage the side streets (Willow Branch Avenue & Rubel Street) by providing access to the porch in the way of stairs from these side streets.**

**5. Driveways fronting on College Street shall be no more than 10 feet in width, with a maximum 2-foot flair at the edge of pavement, for a 12-foot apron maximum.**

**6. Driveway materials along College Street shall be concrete ribbons, brick shaped pavers, or a combination of both, no plain concrete.**

**7. All structures should have a common floor height no less than 18 inches, with garages permitted at grade.**

**8. The height and front facades shall be varied along College Street to replicate the diverse nature of house styles along the College Street elevation.**

**9. No two of the same design shall be placed next to one another along College Street.**

**10. Rear lot structures shall not be taller than the College Street front lot homes.**

**11. The proposed sidewalk shall be stamped concrete in the standard hexagonal pattern, similar to the historic pavers found throughout the district.**

**12. Final approval of any new housing designs shall require a Minor Modification to this COA.**

**13. Conditions for elevations shall be as described in the Staff Report attached hereto as Exhibit “A”, as modified by the additional information submitted by the applicant approved by the Commission attached hereto as Exhibit “B”, and further modified as described in the transcript of the August 22, 2018, Commission Meeting, attached hereto as Exhibit “C”.**

**14. Approval of Final Designs for construction shall be approved by staff as administrative COA's as part of the building permit review process, and staff approval shall be based on the Commission Approval of each design, as described in the Staff Report attached hereto as Exhibit "A", as modified by the additional information submitted by the applicant approved by the Commission attached hereto as Exhibit "B", and further modified as described in the transcript of the August 22, 2018, Commission Meeting, attached hereto as Exhibit "C".**

**15. Minor changes to the design and architectural details (i.e. light patterns, column design, and masonry materials) can be administratively reviewed by the Historic Preservation Section of the Planning and Development Department.**

**16. Final plans in accordance with this Order, and product information shall be submitted to and approved by the Historic Preservation Section of the Planning and Development Department at least one week prior to permitting.**

**B. These are SUGGESTIONS for the residences:**

**1. The rear lot driveways off the alley should be concrete vs. gravel.**

**2. Provide parallel spaces along the alley to accommodate additional cars for rear lots.**

**3. Add additional street trees a part of the development.**

**4. As part of the list of uses in the PUD, traditional single-family lots following the traditional lot pattern be included, if the developer chooses not to develop this project.**

**5. The project be developed in a logical pattern, so that should there be a change in market conditions, the rear houses are not developed first, creating a development pattern suburban in nature, and not reflective of the traditional design patterns for the district.**

**6. The home designs should have consistent roof forms on the front and back of the house.**

**C. The following Exhibits are hereby adopted and incorporated herein by reference, to the extent approved by the Commission as stated in the transcript of the August 22, 2018, Commission Meeting:**

**1. Exhibit A: Portion of Staff Report of the Planning and Development Department. As stated herein, the Staff Report is superseded by this Order where applicable.**

**2. Exhibit B: Additional information submitted by the applicant at the Commission Meeting on August 22, 2018.**

3. **Exhibit C: Transcript of the August 22, 2018, Commission Meeting.** Except as superseded by this Order, the transcript of the August 22, 2018 Commission Meeting shall be binding to resolve any conflicts or inconsistencies among this Order, the Exhibits, or any other documents submitted in support of this application.

D. Failure to exercise the COA hereby granted by performance of the action herein approved within one (1) year of the effective date of this Order shall render this COA invalid and all rights arising hereunder shall terminate.

Executed this 28 day of September, 2018.

**FORM APPROVED**

  
\_\_\_\_\_  
Shannon K. Eller  
Office of General Counsel

  
\_\_\_\_\_  
Chairman  
Historic Preservation Commission

Copies to:

**Applicant:** Curtis Hart/Hart Resources LLC  
8051 Tara Lane  
Jacksonville, FL 32216

**Owner:** Alexander Sifakis/Hoose Homes and Investments, LLC  
7563 Philips Highway, Suite 208  
Jacksonville, FL 32256

**DISCLAIMER.** The certificate of appropriateness granted herein shall not be construed as an exemption from any other applicable local, state, or federal laws, regulations, requirements, permits or approvals. All other applicable local, state or federal permits or approvals shall be obtained before commencement of the development or use and issuance of this certificate of appropriateness is based upon acknowledgement, representation and confirmation made by the applicant(s), owner(s), developer(s) and/or any authorized agent(s) or designee(s) that the subject business, development and/or use will be operated in strict compliance with all laws. Issuance of this certificate of appropriateness does not approve, promote or condone any practice or act that is prohibited or restricted by any federal, state or local laws.

**TIMEFRAMES AND NOTICE OF RIGHT TO APPEAL**

Chapter 307.106(S) of the Jacksonville Ordinance Code states, "Any certificate of appropriateness which has been approved pursuant to the provisions of this section shall expire 12 months from the date of issuance if the work authorized is not commenced within this period. Further, such certificate shall expire if the work authorized is not completed within five years of the date of issuance, unless otherwise extended by the Commission."

Persons listed in Section 307.202, Ord. Code, may appeal this decision to the City Council within twenty-one (21) days of the date of this Order by filing a Notice of Appeal with the Legislative Services Division of the Council as required by section 307.203, Ord. Code. Failure to file a Notice with the Legislative Services Division within the time prescribed waives the right to appeal this Order. Therefore, this Order does not become final until the expiration of the twenty-one (21) day appeal period provided in Chapter 307, Jacksonville Ordinance Code. Any work commenced during this appeal period is done at the risk of the applicant.

**EXHIBIT A**

August 22, 2018

**THE REPORT OF THE PLANNING AND DEVELOPMENT DEPARTMENT**  
**CERTIFICATE OF APPROPRIATENESS APPLICATION COA-18-21064**

<b>Address:</b>	2900 College Street	<b>Year Built:</b>	New Construction/ New
<b>RE#</b>	064616-0000 & 064622-0000		Subdivision
<b>Location:</b>	The north half of the block on the south side of College Street, between Willow Branch Avenue & Rubel Street	<b>Designation:</b>	Riverside / Avondale
		<b>Status:</b>	Non-contributing
<b>Owner:</b>	Alexander Sifakis / Hoose Homes and Investments, LLC 7563 Philips Highway, Suite 208 Jacksonville, FL 32256	<b>Applicant:</b>	Curtis Hart / Hart Resources LLC 8051 Tara Lane Jacksonville, FL 32216

**REQUEST / RECOMMENDATION**

**Request:** Platt a new Subdivision for 19 single family homes, with 20 lots.  
**Recommendation:** Approve with Conditions  
**Conditions:**

- 1) The front setbacks shall be 10 feet, as measured from the front plane of the buildings to the front property line
- 2) The side setbacks shall be configured in such a way as to provide an average of 20 feet between each structure, replicating the average setbacks for the other side of the block and the neighborhood where the block is predominantly single-family homes.
- 3) The front homes shall be wide enough to allow the rear lot homes to appear subordinate, or, the rear lot homes shall be narrower to establish subordination
- 4) There shall be an additional design of a one and one half story home, to be included in the front lots along College Street, and shall be used at least once as a constructed house, for diversity.
- 5) There shall be more diversity in front porch width and design for the structures that front on College Street. This may include reversing the design so the "rear" porch faces College Street.
- 6) There shall be no subdivision or neighborhood signage. The project should blend with, and be considered part of the neighborhood

## EXHIBIT A

- 7) The rear corner lots should engage the side streets (Willow Branch Avenue & Rubel Street) by providing access to the porch in the way of stairs from these side streets.
- 8) Driveways fronting on College Street shall be no more than 10 feet in width, with a maximum 2-foot flair at the edge of pavement, for a 12-foot apron maximum.
- 9) Driveway materials along College Street shall be concrete ribbons, brick shaped pavers, or a combination of both, no plain concrete.
- 10) All structures should have a common floor height no less than 24 inches.
- 11) The height and front facades shall be varied along College Street to replicate the diverse nature of house styles along the college street elevation.
- 12) No two of the same design shall be places next to one another along College Street.
- 13) Rear lot structures shall not be taller than the College Street front lot homes.
- 14) The proposed sidewalk shall be stamped concrete in the standard hexagonal pattern, similar to the historic pavers found throughout the district.
- 15) Final approval of any new housing designs shall require a Minor Modification to this COA.
- 16) Approval of Final Designs for construction shall be approved by staff as administrative COA's as part of the building permit review process, and staff approval shall be based on Commission Approval of each design contained within this application.
- 17) Minor changes to the design and architectural details (i.e. light patterns, column design, and masonry materials) can be administratively reviewed by the Historic Preservation Section of the Planning and Development Department.
- 18) Final plans in accordance with this Order, and product information shall be submitted to and approved by the Historic Preservation Section of the Planning and Development Department at least one week prior to permitting.

### *Suggestions:*

- 1) The rear lot driveways off the ally should be concrete vs gravel
- 2) The rear lot homes should have a one car garage to make the home more narrow, and therefore subordinate
- 3) Provide parallel spaces along the ally to accommodate additional cars for rear lots
- 4) Add additional street trees a part of the development.
- 5) As part of the list of uses in the PUD, traditional single-family lots following the traditional lot pattern be included, if the developer chooses not to develop this project.
- 6) The project be developed in a logical pattern, so that should there be a change in market conditions, the rear houses are not developed first, creating



a development pattern suburban in nature, and not reflective of the traditional design patterns for the district.

- 7) The home designs should have consistent roof forms on the front and back of the house.

It is the position of the Planning and Development Department that the proposed subdivision design, as conditioned is consistent with all or in part with:

- 1. The *Historic Preservation Design Regulations for the Riverside-Avondale Historic District’s* section on “New Construction”.
- 2. The *Secretary of the Interior’s Standards for Rehabilitation* numbers: 9
- 3. Chapter 307.106(k) General Standards: 1 – 4
- 4. Chapter 307.106(m) Guidelines on New Construction: 1 – 9

**GENERAL INFORMATION**

Chapter 307.106(k), *City of Jacksonville Ordinance Code* states that in considering applications for a Certificate of Appropriateness for alterations, new construction, demolition, or relocation, the Commission shall be guided by four general standards. Chapter 307.106(l), *City of Jacksonville Ordinance Code* states that in considering applications for Certificates of Appropriateness for alterations, the Jacksonville Historic Preservation Commission shall consider eight additional standards that reflect the same concerns as the Secretary of the Interior Standards for Rehabilitation. Chapter 307.106(m), *City of Jacksonville Ordinance Code* states that in considering applications for Certificates of Appropriateness for new construction, the Commission shall consider nine additional standards. In an effort to streamline the staff findings and recommendation, these additional standards are addressed under #2 and #3.

**GUIDELINES, STANDARDS AND FINDINGS**

- 1. *The effect of the proposed work on the landmark, landmark site or property within a historic district upon which such work is to be done;*

**DESCRIPTION OF WORK**

The application before the Commission is a unique proposal for a complete subdivision, which will occupy the north half of an entire block along College Street. The property is currently zoned Planned Unit Development, with an approved layout and design for 24 residential units, contained in two mixed use structures, with commercial office uses on the first floor. The proposed project will consist of 20 lots, 19 of which will contain new single-family homes, the remaining lot will be left a greenspace. The project proposes a unique layout, whereby the lots are configured to have the homes arranged in two rows, with half the lots fronting on College Street in a traditional manner, and the remaining half will be accessed by the ally, and front on an internal courtyard, central to the project, between the front and rear lots. The concept replicates a common design type found within the district, that of a primary residence fronting on the street, with a rear garage accessed off the ally, and a garage apartment conversion above. The current platted lot pattern for the block is 7 lots, 50 feet in width by 125 feet deep. This is the historic plat of the property, as approved in 1914. The south half of the block was constructed following this lot patterns, with seven structures on the original seven lots. The average space between the homes along this block is 20-21 feet. The homes on the south half of the block are a mix of one and two story homes. The variation in style and height is a typical condition found throughout the surrounding blocks as well as the district as a whole. The front setback proposed is less than that found on the southern half of the block, but more leeway can

be given to the front setback for several reasons. First, the adjacent block to the east has a mix of multi-family structures, as well as single-family homes. The multi-family structures are built to the property line, with no setback at all. The conditioned 10-foot setback is a compromise between the larger front setbacks found on the southern portion of the block as well as the surrounding single-family dominated blocks, and the zero front setback noted on the multi-family. Finally, as noted above, the rear homes will have rear ally access, while the front homes will have a more common driveway on one side of the property. Parking for the rear lots will be an attached garage, facing the ally, and the front lots will have parking in the driveway. Both can accommodate two cars.

### DOCUMENTED AND CURRENT CONDITIONS

Currently the subject lots are vacant, with the remnants of a paved surface visible. The area surrounding the property is a mix of residential uses, both multi-family and single-family, and commercial and industrial uses as well. Immediately across College Street, facing the project, is an industrial site that stores crushed concrete and other road aggregate material in large piles. There is a single building on site, and the site is surrounded by fencing and large stacks of shipping containers. Additionally across College Street are a main line of Railroad Tracks. Across Rubel Street, there is a two story multi-family complex. Beyond the multi-family structures, there are single-family homes along college. Across Willow Branch Avenue is a commercial nightclub, and the Roosevelt Boulevard overpass. Contextually, the project has little to reference immediately adjacent or abutting with regards to single-family homes.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

### EFFECT OF WORK ON HISTORIC DISTRICT

Secretary of the Interior's Standards for Rehabilitation #9<sup>1</sup> states, "related new construction shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment." It is the opinion of the Planning and Development Department the scope of work proposed **as conditioned** meets the Secretary of the Interior's Standards for Rehabilitation and the following standards.

#### Chapter 307.106(m) 1. Height

The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in a historic district.

- The project, **as conditioned**, will have a majority of the structures designed as two story homes, but conditioned to have at least some variety with an additional one and one half story design. The one and one half and two story designs are common throughout the district, and relate to the mix of single and two story homes on the southern half of the subject block.
- The secondary row of homes reflect the two story garage / apartment structures that are common to the district, and **as conditioned** will be no taller than the structures that front on College Street, which will reflect the primary structures.

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<sup>1</sup> National Park Service, *Secretary's Standards for Rehabilitation*, <http://www.nps.gov/tps/standards/rehabilitation.htm>



**Chapter 307.106(m) 2. Proportions of windows and doors**

The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in a historic district.

- The *Historic Preservation Regulations of the Riverside-Avondale Historic Districts* states under the section “New Construction” that the proportion of window openings should be consistent with those found on adjacent structures. The *Design Regulations* also state that repeated elements on neighboring structures such as alignment of windows and sills, unformed openings, and horizontal rhythms should be maintained in the design of the new structure.
  - Generally, the overall designs will have a general rhythm of multi-level windows and doors, with common header heights. Each Specific model will be addressed later in this report, under their own criteria.

**Chapter 307.106(m) 3. Relationship of building masses, setbacks and spaces**

The relationship of a structure within a historic district to the open space between it and adjoining structures shall be compatible.

- The general layout of the project reflects the common design element of primary homes with rear garages with apartments above, as seen throughout the district. **As conditioned**, the proposed setbacks will be in keeping with the setbacks common to the southern portion of the block, as well as the other areas of the adjacent blocks. This condition will most likely result in the loss of several lots to accommodate these increased setbacks. The design guidelines recommend that infill development replicate the setbacks of the surrounding historical structures, to reduce the impact of new construction on the historic structures in the area, and recommends avoiding the infill development be substantially different than the traditional setbacks, so as to not stand out as new construction.
- The massing of one and one half and two story homes along College street is a typical massing pattern for single-family residential streets in the Riverside / Avondale district, as well as reflective of the southern half of the block, where context is drawn from.

**Chapter 307.106(m) 4. Roof Shape**

The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in a historic district.

- The roof forms are a mix of hip and gable roof forms, and each proposed design will be addressed individually later in this report.

**Chapter 307.106(m) 5. Landscaping**

Landscaping shall be compatible with the architectural character and appearance of the landmark and of surrounding structures and landscapes in a historic district.

- The proposed project will be designed with some landscaping along College Street, but the bulk of the landscaping will be contained within the “courtyard” area between the

front and rear lots. This is generally a typical condition, though street trees are also a common element along residential streets and should be considered as part of this project.

**Chapter 307.106(m) 6. Scale**

The scale of the structure after alteration, construction, or partial demolition shall be compatible with its architectural style and character and with surrounding structures in a historic district.

- Generally, two story homes are common throughout the district, **as conditioned**; the use of both two story and one and one half story homes is reflective of the mix of elevations noted on the southern half of the subject block, with regards to single-family development patterns. Although a portion of the project abuts multi-family designs to the south, these are atypical for the block, and reflect a different development style.

**Chapter 307.106(m) 7. Directional Expression**

Facades in historic districts shall blend with other structures with regard to directional expression. Structures in a historic district shall be compatible with the dominant horizontal or vertical expression of surrounding structures. The directional expression of a landmark after alteration, construction, or partial demolition shall be compatible with its original architectural style and character.

- The design of the project attempts to replicate the typical design pattern of a primary structure, with a rear detached garage with an apartment above. The front lots, or “primary structure” will face College Street, in a standard design. The rear structures will have the garage access off the ally, and the entrance to the front, facing the front lot homes. This is generally typical for these types of accessory structures, and would be an acceptable design. **As conditioned**, the rear lost on the corners of the courtyard and both Willow Branch Avenue and Rubel Street shall have some engagement with these side streets, and not be blank walls.

**Chapter 307.106(m) 8. Architectural Details**

Architectural details including materials and textures shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district.

- The *Historic Preservation Regulations for the Riverside-Avondale Historic Districts* suggest that for new construction, materials that are compatible in quality, color, texture, finish, and dimension to those common to the district should be used<sup>2</sup>. The proposed design of the new construction contains many architectural details that are in keeping with historic elements found throughout the Riverside-Avondale Historic District. Such details include:
  - The proposed fiber-cement lap siding is a contemporary version of the wood lap siding that is prolific in the Riverside-Avondale Historic District.
  - The use of vertically-oriented windows spaced evenly throughout.

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<sup>2</sup> *Historic Preservation Guidelines for the Riverside-Avondale Historic District*, The Jacksonville Planning and Development Department, 1992.

- The use of a hip & gable style roof designs with a hip and gable roof designs over dormers and one-story porches are common architectural features found in the Riverside / Avondale Historic District.
- The various width front porches with various column designs consistent with the immediate area and the District. Individual designs will be addressed later in this report.
- Generally the, designs of each model reflect homes that would be considered previously altered, in that they replicate homes where an upper story porch may have been enclosed, or a portion of the first floor porch has been enclosed. Although not a traditional design, it does reflect a common design element found throughout the district, and allows for the infill development to blend, while allowing for a more modern internal design.

**Chapter 307.106(m) 9. Impact on Archaeological Sites**

*New construction shall be undertaken in such a manner as to preserve the integrity of archaeological sites and landmark sites.*

- It is the opinion of the Planning and Development Department that the proposed new residence would most likely not impact archeological resources, given that this site show evidence of previous development. However, as this project will be a new subdivision, as defined in chapter 654 of the municipal code, they will be required to conduct an archeological survey.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property would be affected.*

**EFFECT OF WORK ON STRUCTURE OR SITE**

The proposed new construction is consistent with Standards Nine of the *Secretary of the Interior’s Standards for Rehabilitation*. Standard Nine emphasizes that new construction shall not destroy historic materials, is differentiated from the old while being compatible in massing, size, scale, and architectural features in order to preserve the historical integrity of the property and its immediate surroundings. Since being constructed vacant parcels with adjacent new construction proposed and compatibly height and styles with the surrounding contributing structures, **as conditioned** no historic fabric will be impacted. The proposed residences are differentiated by their various designs and materials while being compatible in massing, size, scale and architectural features of adjacent properties.

The proposed structure will contribute to the creation of a traditional residential streetscape consistent with surrounding parts of the Springfield Historic District; thus building context within the district.

4. *Whether the plans may be carried out by the applicant within a reasonable period of time.*

**TIME FRAMES**

Chapter 307.106 (S) of the Jacksonville Ordinance Code states, “Any certificate of appropriateness which has been approved pursuant to the provisions of this Section shall expire 12 months from the

EXHIBIT A

date of issuance if the work authorized is not commenced within this period. Further, such certificate shall expire if the work authorized is not completed within five years of the date of issuance, unless otherwise extended by the Commission.” It is the opinion of the Planning and Development Department that the proposed work can be completed within a reasonable period, however, as this project is tied to additional legislative action, **staff would suggest that “commenced” be amended to include the Approval of the PUD legislation. It may take the applicant several months to complete the approval process through the City Council, and my not begin actual construction in the one year period.**



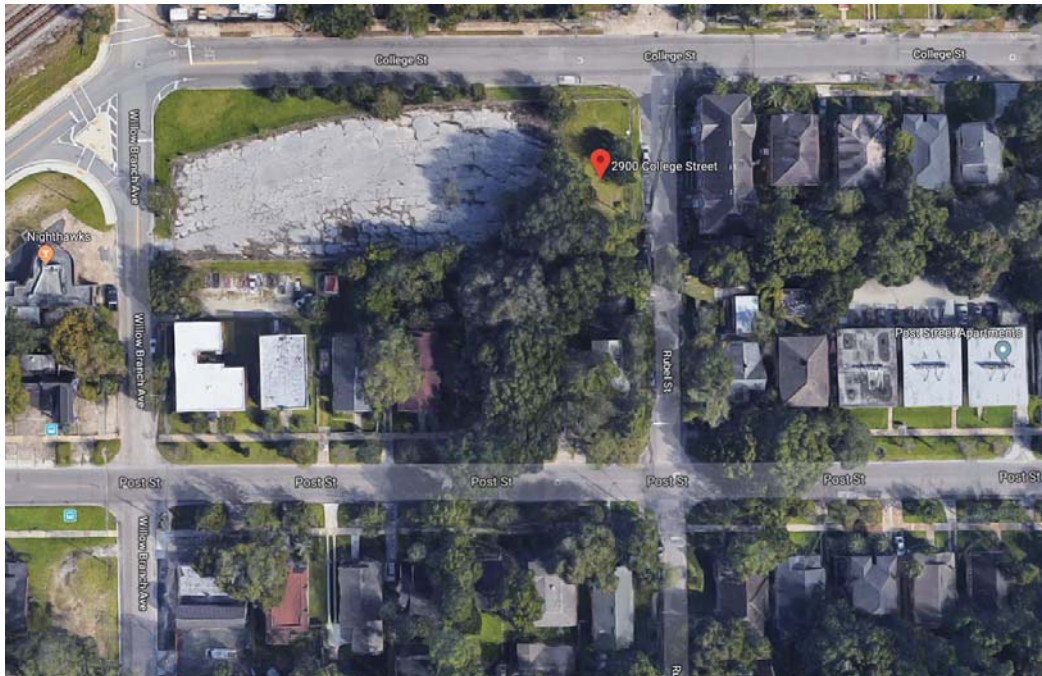
Posted Sign



EXHIBIT A



Property Map 1 (2013)



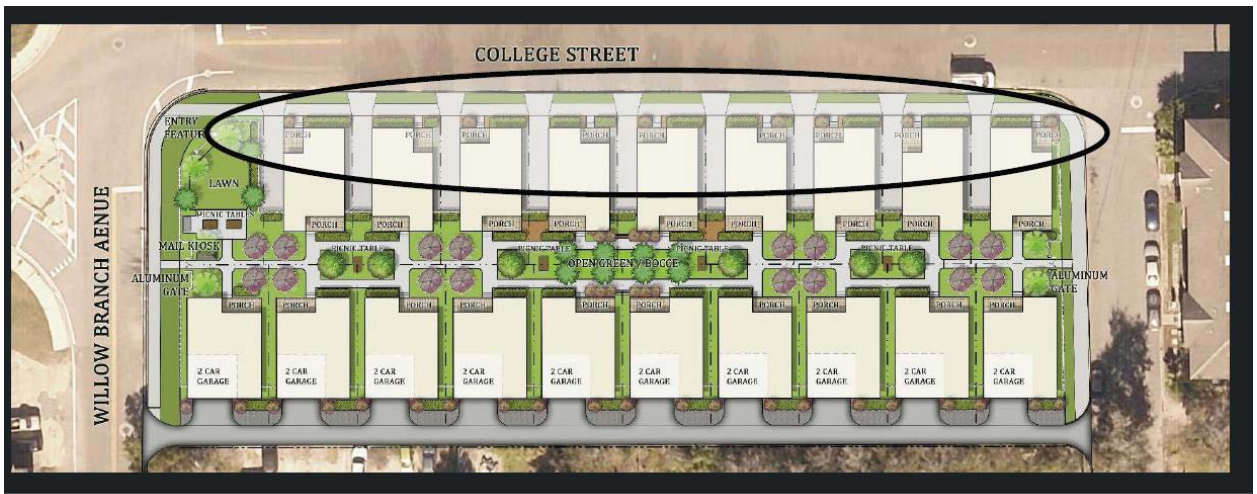
Property MAP 2 (2018)



EXHIBIT A



Proposed Development Design



Proposed design and streetscape



**EXHIBIT A**



Streetscape, eastern 5 lots



Streetscape, western 5 lots, with park on westernmost lot.



Subject property

EXHIBIT A



Adjacent block, east along College Street



Industrial complex across College Street



**EXHIBIT A**



Railroad tracks and overpass across College Street and Willow Branch Avenue



Multifamily on south portion of subject block

**EXHIBIT A**



Single Family homes, both one and two story, along south side of subject block



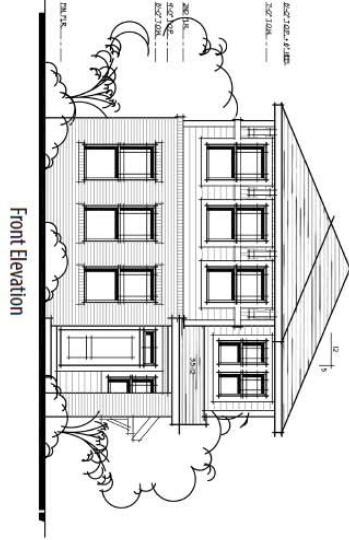
**Request: A** Approval for the “1791 Prairie” design

**Recommendation:** Approve with Conditions

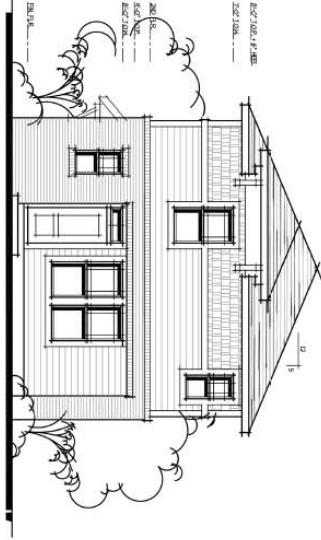
**Conditions:**

- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) Both the right and left side elevations shall include a majority of vertically oriented windows
- 3) Windows shall be added to both the left and right side elevations so that there is no more than 8-10 feet of blank wall space between each window, on both the upper and lower floors
- 4) All windows shall have a common header height.
- 5) All windows shall be recessed within the wall plane and shall be trimmed in a traditional manner. All window pairs shall be divided by a three inch to four inch (3”-4”) traditional mullion.
- 6) The fascia boards and soffits shall be composed of wood or a cementitious material-vinyl is an inappropriate material.
- 7) There shall be more diversity in door design, with the option for Craftsman style, French, half or full light doors.
- 8) The front door shall have clear glass without decorative etching.
- 9) Approval of Final Designs for construction shall be approved by staff as administrative COA’s as part of the building permit review process, and staff approval shall be based on Commission Approval of each design contained within this application.
- 10) Minor changes to architectural details such as light patterns, column design and masonry materials can be handled administratively by the Planning and Development Department.
- 11) Final plans and product information shall be submitted to and approved by the Planning and Development Department prior to permitting and construction.

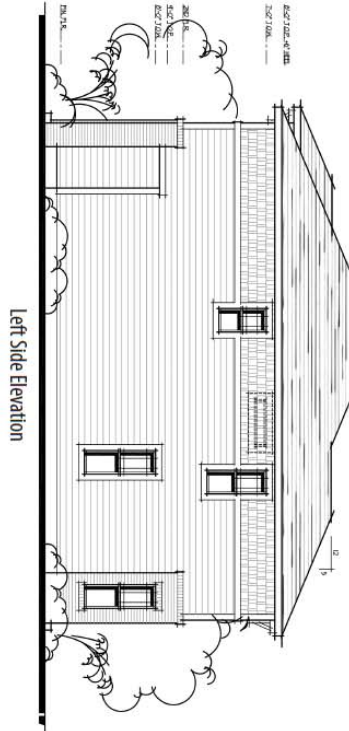
EXHIBIT A



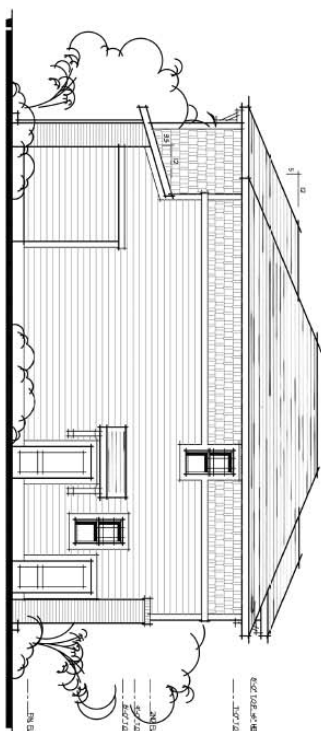
Front Elevation



Rear Elevation



Left Side Elevation



Right Side Elevation

1791  
Prairie

COURTYARD HOMES  
17152  
AA26002897  
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HOUSING  
DESIGN  
MATTERS

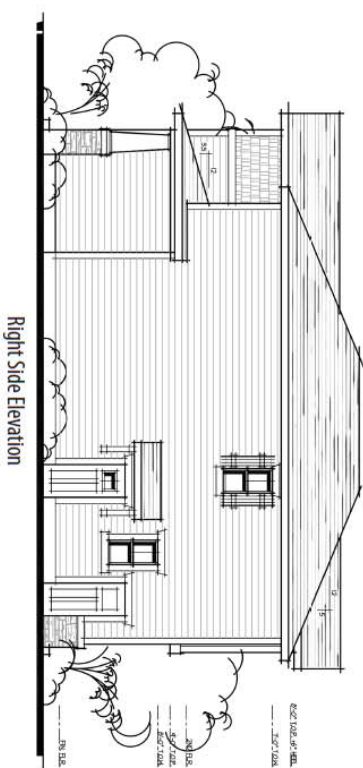
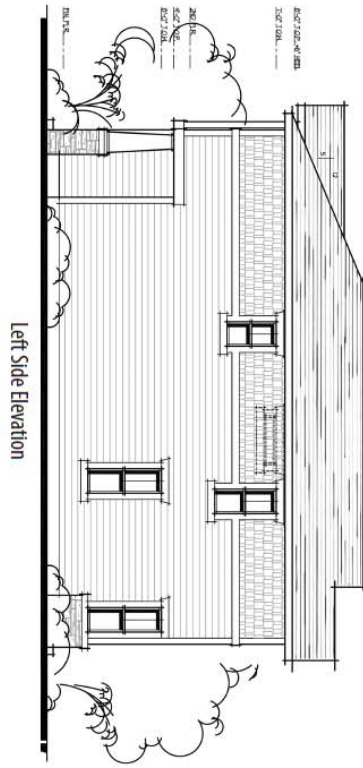
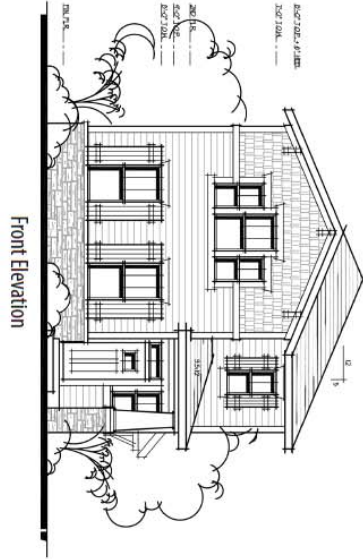


**Request: B** Approval for the “1791 Craftsman A” design

**Recommendation:** Approve with Conditions

**Conditions:**

- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) Both the right and left side elevations shall include a majority of vertically oriented windows
- 3) Windows shall be added to both the left and right side elevations so that there is no more than 8-10 feet of blank wall space between each window, on both the upper and lower floors
- 4) Shutters shall be of a traditional louvered design.
- 5) All windows shall have a common header height.
- 6) All windows shall be recessed within the wall plane and shall be trimmed in a traditional manner. All window pairs shall be divided by a three inch to four inch (3”-4”) traditional mullion.
- 7) The fascia boards and soffits shall be composed of wood or a cementitious material-vinyl is an inappropriate material.
- 8) There shall be more diversity in door design, with the option for Craftsman style, French, half or full light doors.
- 9) The front door shall have clear glass without decorative etching.
- 10) Approval of Final Designs for construction shall be approved by staff as administrative COA’s as part of the building permit review process, and staff approval shall be based on Commission Approval of each design contained within this application.
- 11) Minor changes to architectural details such as light patterns, column design and masonry materials can be handled administratively by the Planning and Development Department.
- 12) Final plans and product information shall be submitted to and approved by the Planning and Development Department prior to permitting and construction.



1791  
Craftsman A

COURTYARD HOMES  
17152  
AA26002897  
03-26-18  
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**Request: C** Approval for the “1791 Craftsman B” design

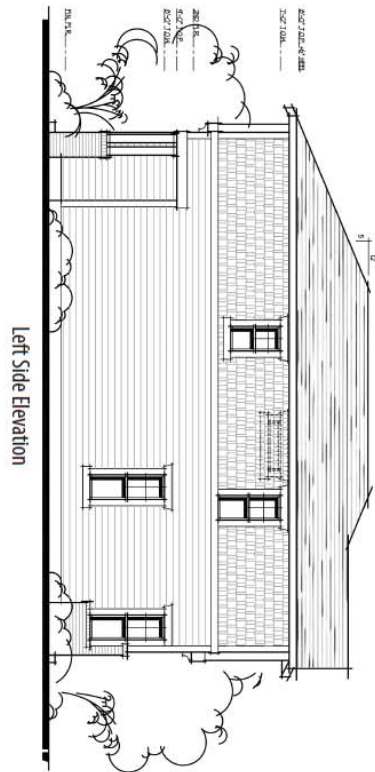
**Recommendation:** Approve with Conditions

**Conditions:**

- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) The railing system shall be made of wood and the spindles set in between an upper and lower railing with no exposed ends.
- 3) Both the right and left side elevations shall include a majority of vertically oriented windows
- 4) Windows shall be added to both the left and right side elevations so that there is no more than 8-10 feet of blank wall space between each window, on both the upper and lower floors
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- 7) The fascia boards and soffits shall be composed of wood or a cementitious material-vinyl is an inappropriate material.
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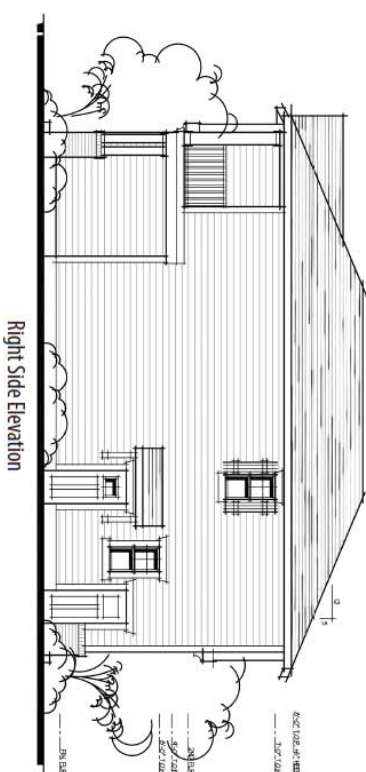
Front Elevation



Left Side Elevation



Rear Elevation

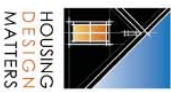


Right Side Elevation



1791  
Craftsman B

COURTYARD HOMES  
17152  
AA26002897  
03-26-18



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***Request: D***

***Recommendation:***

***Conditions:***

**Approval for the "1817 Prairie" design**

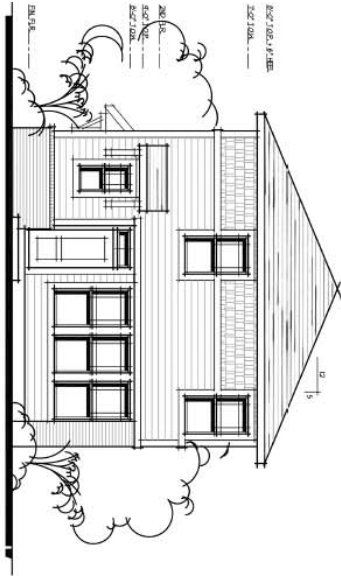
**Approve with Conditions**

- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) Both the right and left side elevations shall include a majority of vertically oriented windows
- 3) Windows shall be added to both the left and right side elevations so that there is no more than 8-10 feet of blank wall space between each window, on both the upper and lower floors
- 4) All windows shall have a common header height.
- 5) All windows shall be recessed within the wall plane and shall be trimmed in a traditional manner. All window pairs shall be divided by a three inch to four inch (3"-4") traditional mullion.
- 6) The fascia boards and soffits shall be composed of wood or a cementitious material-vinyl is an inappropriate material.
- 7) There shall be more diversity in door design, with the option for Craftsman style, French, half or full light doors.
- 8) The front door shall have clear glass without decorative etching.
- 9) Approval of Final Designs for construction shall be approved by staff as administrative COA's as part of the building permit review process, and staff approval shall be based on Commission Approval of each design contained within this application.
- 10) Minor changes to architectural details such as light patterns, column design and masonry materials can be handled administratively by the Planning and Development Department.
- 11) Final plans and product information shall be submitted to and approved by the Planning and Development Department prior to permitting and construction.

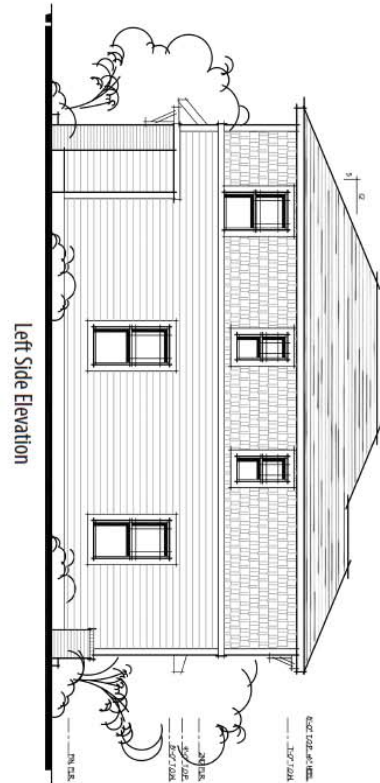
EXHIBIT A



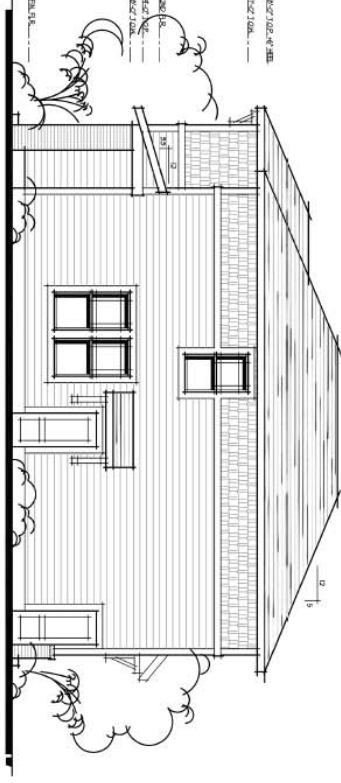
Front Elevation



Rear Elevation



Left Side Elevation



Right Side Elevation

1817  
Prairie

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17152  
AA26002897  
03-26-18  
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***Request: E***

***Recommendation:***

***Conditions:***

**Approval for the “1817 Craftsman A” design**

**Approve with Conditions**

- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) The shutters shall be of a traditional louvered design.
- 3) Shutters shall be applied to all windows on a given elevation or not at all.
- 4) Both the right and left side elevations shall include a majority of vertically oriented windows
- 5) Windows shall be added to both the left and right side elevations so that there is no more than 8-10 feet of blank wall space between each window, on both the upper and lower floors
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- 8) The fascia boards and soffits shall be composed of wood or a cementitious material-vinyl is an inappropriate material.
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- 12) Minor changes to architectural details such as light patterns, column design and masonry materials can be handled administratively by the Planning and Development Department.
- 13) Final plans and product information shall be submitted to and approved by the Planning and Development Department prior to permitting and construction.

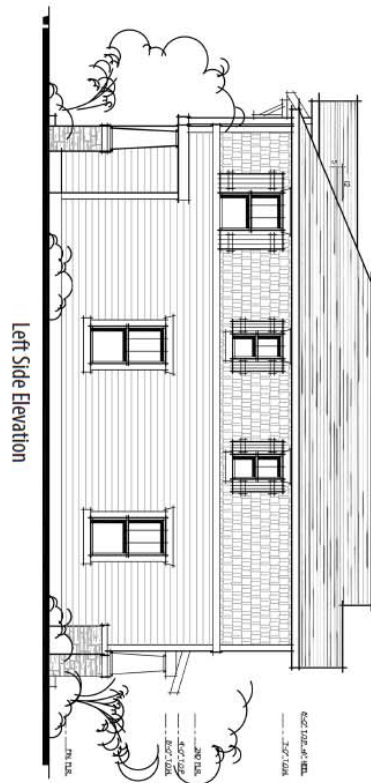
EXHIBIT A



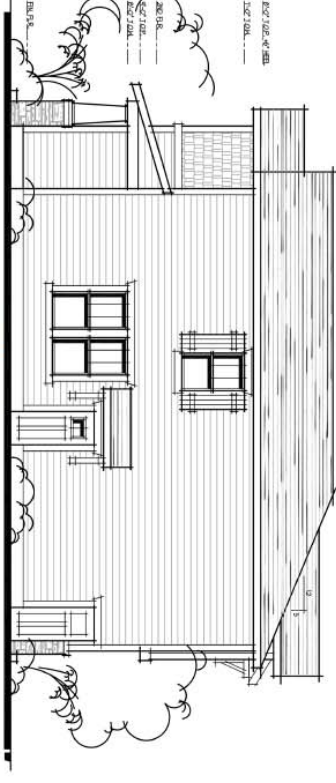
Front Elevation



Rear Elevation



Left Side Elevation



Right Side Elevation

1817  
Craftsman A

COURTYARD HOMES  
17152  
AA26002897  
03-26-18



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***Request: F***  
***Recommendation:***  
***Conditions:***

**Approval for the “1817 Craftsman B” design**  
**Approve with Conditions**

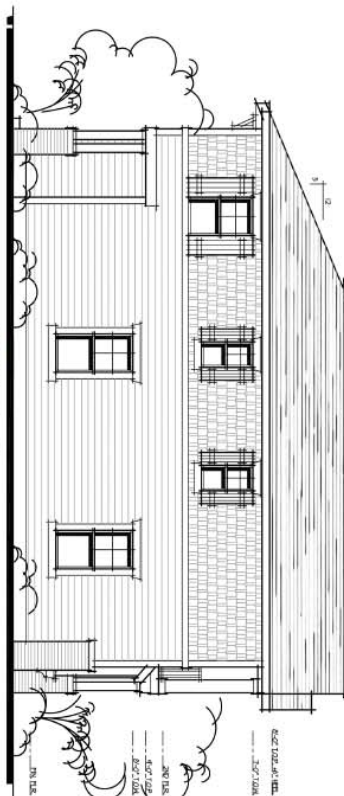
- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) The shutters shall be of a traditional louvered design.
- 3) Shutters shall be applied to all windows on a given elevation or not at all.
- 4) The railing system shall be made of wood and the spindles set in between an upper and lower railing with no exposed ends.
- 5) Both the right and left side elevations shall include a majority of vertically oriented windows
- 6) Windows shall be added to both the left and right side elevations so that there is no more than 8-10 feet of blank wall space between each window, on both the upper and lower floors
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- 14) Final plans and product information shall be submitted to and approved by the Planning and Development Department prior to permitting and construction.



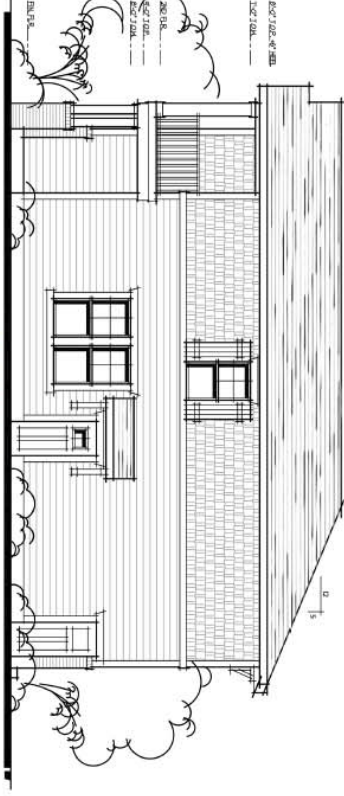
Front Elevation



Rear Elevation



Left Side Elevation



Right Side Elevation



1817  
Craftsman B

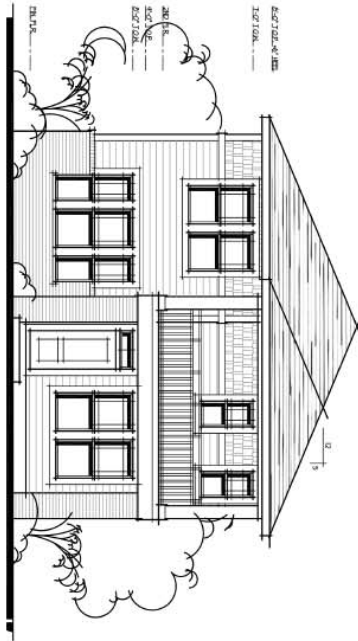
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17152  
AA26002897  
03-26-18  
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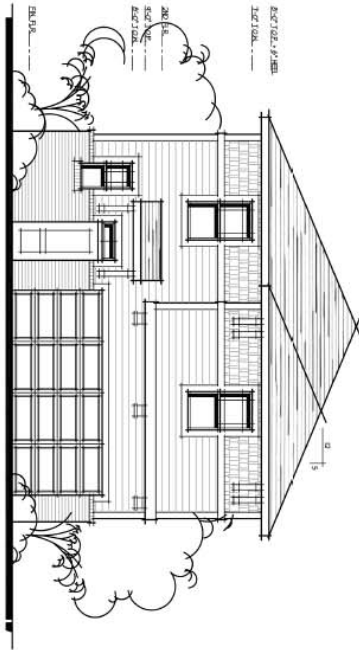
***Request: G***  
***Recommendation:***  
***Conditions:***

**Approval for the “1805 Prairie” design**  
**Approve with Conditions**

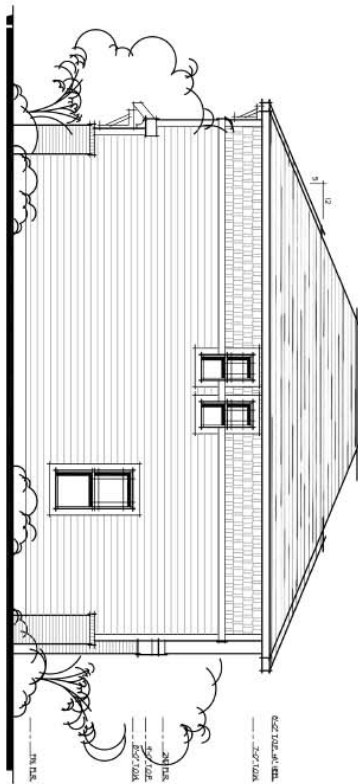
- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) The railing system shall be made of wood and the spindles set in between an upper and lower railing with no exposed ends.
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- 9) The front door shall have clear glass without decorative etching.
- 10) Approval of Final Designs for construction shall be approved by staff as administrative COA’s as part of the building permit review process, and staff approval shall be based on Commission Approval of each design contained within this application.
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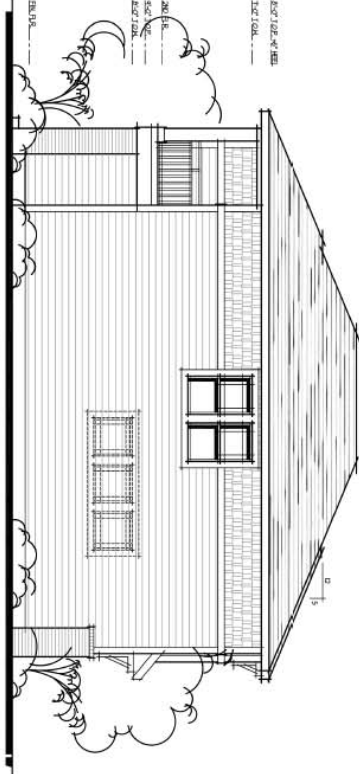
Front Elevation



Rear Elevation



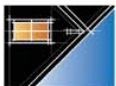
Left Side Elevation



Right Side Elevation

1805  
Prairie

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03-26-18  
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***Request: H***  
***Recommendation:***  
***Conditions:***

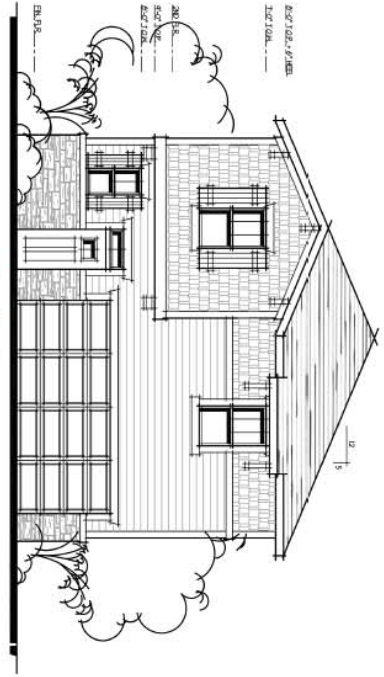
**Approval for the “1805 Craftsman” design**  
**Approve with Conditions**

- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) The shutters shall be of a traditional louvered design.
- 3) Shutters shall be applied to all windows on a given elevation or not at all.
- 4) The railing system shall be made of wood and the spindles set in between an upper and lower railing with no exposed ends.
- 5) Both the right and left side elevations shall include a majority of vertically oriented windows
- 6) Windows shall be added to both the left and right side elevations so that there is no more than 8-10 feet of blank wall space between each window, on both the upper and lower floors
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- 9) The fascia boards and soffits shall be composed of wood or a cementitious material-vinyl is an inappropriate material.
- 10) There shall be more diversity in door design, with the option for Craftsman style, French, half or full light doors.
- 11) The front door shall have clear glass without decorative etching.
- 12) Approval of Final Designs for construction shall be approved by staff as administrative COA’s as part of the building permit review process, and staff approval shall be based on Commission Approval of each design contained within this application.
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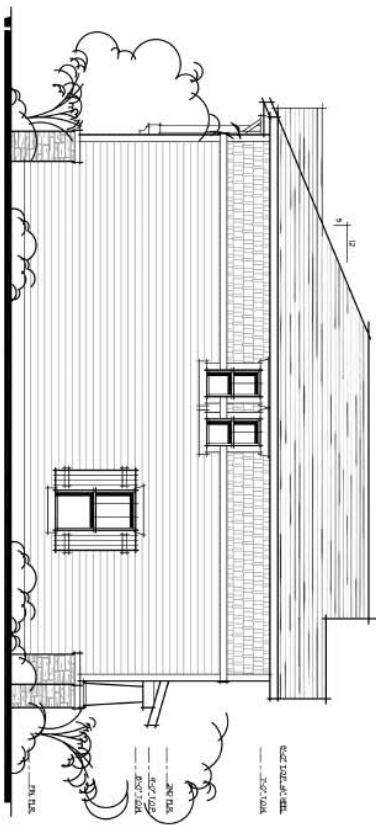
EXHIBIT A



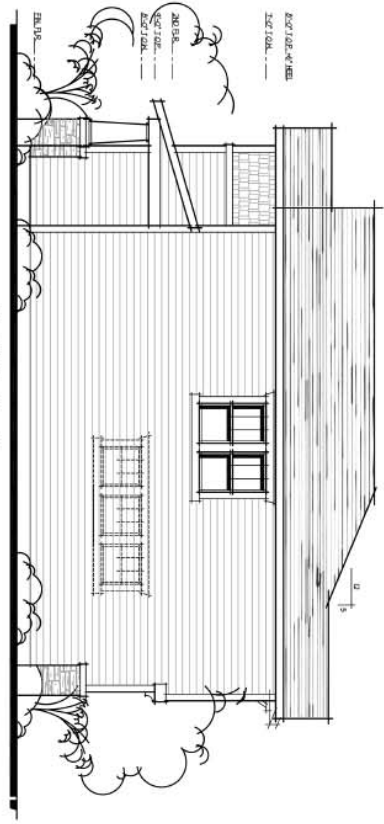
Front Elevation



Rear Elevation



Left Side Elevation



Right Side Elevation

1805  
Craftsman

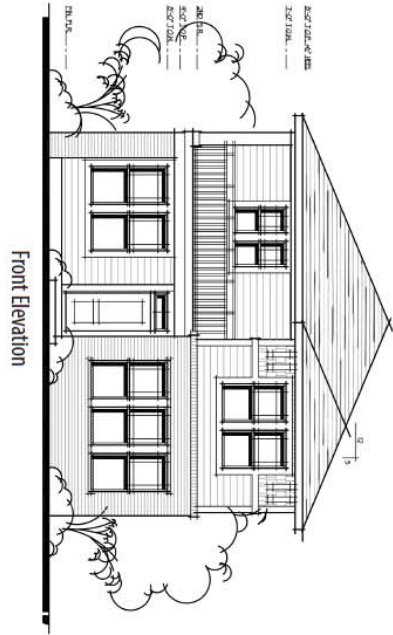
COURTYARD HOMES  
17152  
AA26002897  
03-26-18  
HOUSING DESIGN MATTERS

***Request: I***  
***Recommendation:***  
***Conditions:***

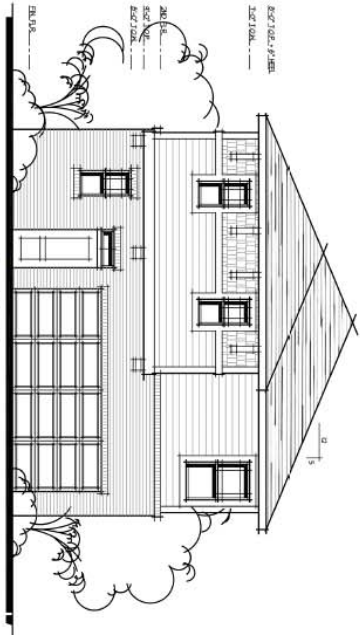
**Approval for the “1825 Prairie” design**  
**Approve with Conditions**

- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) The shutters shall be of a traditional louvered design.
- 3) Shutters shall be applied to all windows on a given elevation or not at all.
- 4) The railing system shall be made of wood and the spindles set in between an upper and lower railing with no exposed ends.
- 5) Both the right and left side elevations shall include a majority of vertically oriented windows
- 6) Windows shall be added to both the left and right side elevations so that there is no more than 8-10 feet of blank wall space between each window, on both the upper and lower floors
- 7) All windows shall have a common header height.
- 8) All windows shall be recessed within the wall plane and shall be trimmed in a traditional manner. All window pairs shall be divided by a three inch to four inch (3”-4”) traditional mullion.
- 9) The fascia boards and soffits shall be composed of wood or a cementitious material-vinyl is an inappropriate material.
- 10) There shall be more diversity in door design, with the option for Craftsman style, French, half or full light doors.
- 11) The front door shall have clear glass without decorative etching.
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- 14) Final plans and product information shall be submitted to and approved by the Planning and Development Department prior to permitting and construction.

EXHIBIT A



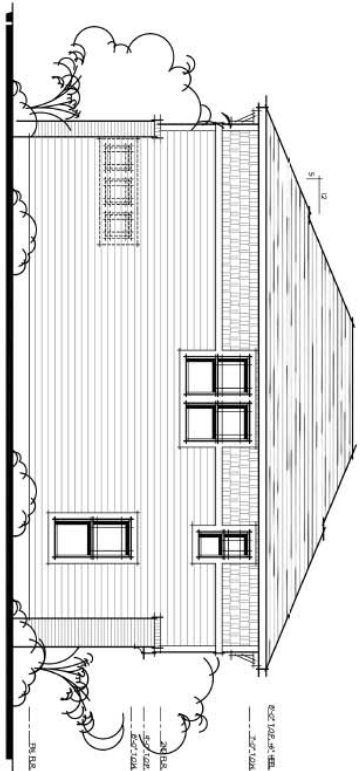
Front Elevation



Rear Elevation



Left Side Elevation



Right Side Elevation

1825  
Prairie

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17152  
AA260002897  
03-26-18  
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***Request: J***

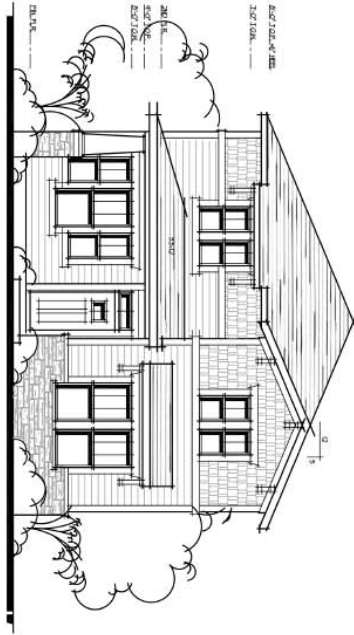
***Recommendation:***

***Conditions:***

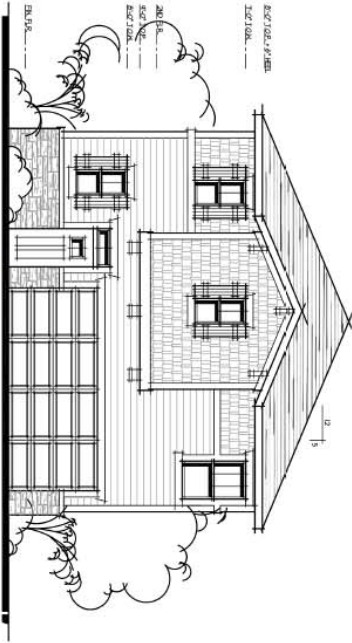
**Approval for the “1825 Craftsman” design**

**Approve with Conditions**

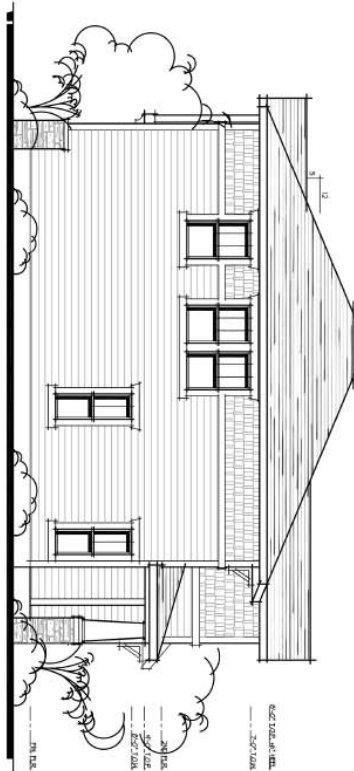
- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
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- 3) Shutters shall be applied to all windows on a given elevation or not at all.
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- 8) The fascia boards and soffits shall be composed of wood or a cementitious material-vinyl is an inappropriate material.
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- 10) The front door shall have clear glass without decorative etching.
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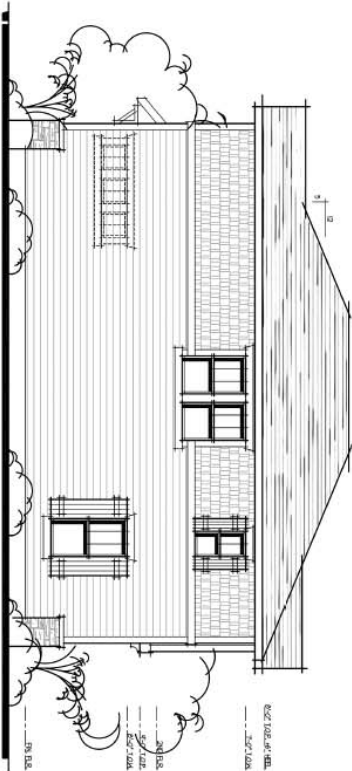
Front Elevation



Rear Elevation



Left Side Elevation



Right Side Elevation



1825  
Craftsman

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03-26-18  
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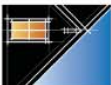


EXHIBIT A

**Request: K** Approval for the “1610 Crastman A” design  
**Recommendation:** Approve with Conditions  
**Conditions:**

- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) The shutters shall be of a traditional louvered design.
- 3) Shutters shall be applied to all windows on a given elevation or not at all.
- 4) Both the right and left side elevations shall include a majority of vertically oriented windows
- 5) Windows shall be added to both the left and right side elevations so that there is no more than 8-10 feet of blank wall space between each window, on both the upper and lower floors
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- 7) All windows shall be recessed within the wall plane and shall be trimmed in a traditional manner. All window pairs shall be divided by a three inch to four inch (3”-4”) traditional mullion.
- 8) The fascia boards and soffits shall be composed of wood or a cementitious material-vinyl is an inappropriate material.
- 9) There shall be more diversity in door design, with the option for Craftsman style, French, half or full light doors.
- 10) The front door shall have clear glass without decorative etching.
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- 13) Final plans and product information shall be submitted to and approved by the Planning and Development Department prior to permitting and construction.

EXHIBIT A

“1610 Craftsman A”



1610  
Craftsman - Color Scheme 2





**EXHIBIT A**

**Request: K**                      **Approval for the “1610 Crastman B” design**  
**Recommendation:**        **Approve with Conditions**  
**Conditions:**

- 1) The belt line and shake shingle siding shall be applied at the same height of each elevation, generally along the lower sill of the upper story windows, not dividing the windows mid-sash
- 2) The shutters shall be of a traditional louvered design.
- 3) Shutters shall be applied to all windows on a given elevation or not at all.
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- 11) Approval of Final Designs for construction shall be approved by staff as administrative COA’s as part of the building permit review process, and staff approval shall be based on Commission Approval of each design contained within this application.
- 12) Minor changes to architectural details such as light patterns, column design and masonry materials can be handled administratively by the Planning and Development Department.

EXHIBIT A

“1610 Craftsman B”



1610  
Craftsman - Color Scheme 6

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AA26002897  
08-24-18  
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**Final plans and product information shall be submitted to and approved by the Planning and Development Department prior to permitting and construction.**

**It is the position of the Planning and Development Department that the proposed designs, as conditioned, are consistent with all or in part with:**

- 5. *The Historic Preservation Design Regulations for the Springfield Historic District’s section on “New Construction”.***
- 6. *The Secretary of the Interior’s Standards for Rehabilitation Numbers: 9***
- 7. *Chapter 307.106(k) General Standards: 1 – 4***
- 8. *Chapter 307.106(m) Guidelines on New Construction: 1 – 9***

**GENERAL INFORMATION**

Chapter 307.106(k), *City of Jacksonville Ordinance Code* states that in considering applications for a Certificate of Appropriateness for alterations, new construction, demolition, or relocation, the Commission shall be guided by four general standards. Chapter 307.106(l), *City of Jacksonville Ordinance Code* states that in considering applications for Certificates of Appropriateness for alterations, the Jacksonville Historic Preservation Commission shall consider eight additional standards that reflect the same concerns as the Secretary of the Interior Standards for Rehabilitation. Chapter 307.106(m), *City of Jacksonville Ordinance Code* states that in considering applications for Certificates of Appropriateness for new construction, the Commission shall consider nine additional standards. In an effort to streamline the staff findings and recommendation, these additional standards are addressed under #2 and #3.

**GUIDELINES, STANDARDS AND FINDINGS**

- 1. The effect of the proposed work on the landmark, landmark site or property within a historic district upon which such work is to be done;*

**DESCRIPTION OF WORK – NEW CONSTRUCTION: HOME DESIGNS**

The proposed designs are for two distinct housing types, those located along College Street, known as the “front” lots, and those that are in the rear, accessed off the ally, with no real street frontage, known as the “rear” lots. Each house type has several distinct designs, in an effort to create diversity. As noted above, in the section on the project overall, staff has conditioned that there be at least one more new design, for the College Street elevations, with a one and one half story design. The majority of the front and rear house types are two stories, with a mix of three-quarter, half and quarter width porches. The front lot designs have a double front design, whereby the lots have a front façade that faces College Street, and a second front façade that faces the courtyard. The rear lot housing types have a main front façade that faces the courtyard, and a true rear façade with an attached garage that faces the ally. The homes have a mix of elevations and roof forms, ranging from gabled ends, hips, and combinations of both. They have bracket elements, belt lines, mixes in material siding, such as horizontal lap siding, faux shake single, and brick. The designs have front porch elements such as columns, cheek walls, and in some cases railing on the upper story balconies

or porches. The lots, as conditioned, would have setbacks to match that of the surrounding blocks, with a minimum of 20 feet between structures, and a front setback of no less than 10 feet.

### DOCUMENTED AND CURRENT CONDITIONS

As noted earlier in the report, the majority of the context for this location is unrelated to single-family home designs. With an industrial storage lot across College, railroad track and a highway overpass to the northwest, a nightclub to the immediate west, and a larger multifamily structure to the east. Because of this, as recommended in the design guidelines, context must then be sought from the rear of the block, or other blocks with contributing structures. The surrounding area has a mix of one and two story single-family homes. The average distance between structures is 20 feet. The front setback is difficult to average, as there is much variation throughout this area. Therefore, a common setback of 10 feet is conditioned.

5. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

### EFFECT OF WORK ON HISTORIC DISTRICT

Standard Nine of the *Secretary of the Interior's Standards for Rehabilitation*<sup>3</sup> states, "related new construction shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment." It is the opinion of the Planning and Development Department the scope of work proposed **as conditioned** meets the *Secretary of the Interior's Standards for Rehabilitation* and the following standards from the *Historic Preservation Regulations for the Riverside / Avondale Historic District*.

#### **Chapter 307.106(m) 1. Height**

*The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in a historic district.*

- All the current proposed residences are two stories in height. This is a common design and height for the district. **As conditioned**, there will be the addition of a one and one half story design, to replicate the diverse nature of the one and two story designs on the surrounding blocks.

#### **Chapter 307.106(m) 2. Proportions of windows and doors**

*The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in a historic district.*

- The *Historic Preservation Regulations of the Springfield Historic Districts'* states under the section "New Construction" that the proportion of window openings should be

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<sup>3</sup> National Park Service, *Secretary's Standards for Rehabilitation*, <http://www.nps.gov/tps/standards/rehabilitation.htm>



consistent with those found on adjacent structures. The *Design Regulations* also state that repeated elements on neighboring structures such as alignment of windows and sills, unformed openings, and horizontal rhythms should be maintained in the design of the new structure.

- The proposed design and elevations show the use of consistent head height as is typically found in historic structures within the district
- The proposed structure, **as conditioned**, has a consistent horizontal rhythm of openings along the front, sides and rear of the structure.

**Chapter 307.106(m) 3. Relationship of building masses, setbacks and spaces**

*The relationship of a structure within a historic district to the open space between it and adjoining structures shall be compatible.*

- The majority of the proposed designs are two story in nature. With the conditioned addition of a one and one half story design, the massing will be similar to the massing of the surrounding blocks with single-family designed homes.
- **As conditioned**, the setbacks will match that of the surrounding blocks, with a minimum of 20 feet between structures.

**Chapter 307.106(m) 4. Roof Shape**

*The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in a historic district.*

- The proposed roof forms are a mix of hips, gables and hips and gables. These are common roof forms found throughout the district.

**Chapter 307.106(m) 5. Landscaping**

*Landscaping shall be compatible with the architectural character and appearance of the landmark and of surrounding structures and landscapes in a historic district.*

- The proposed landscape plan focuses most of the landscaping to the middle of the project, with a proposed tree canopy that is typical of the district. It is suggested that more street trees be added to the College Street elevation.

**Chapter 307.106(m) 6. Scale**

*The scale of the structure after alteration, construction, or partial demolition shall be compatible with its architectural style and character and with surrounding structures in a historic district.*

- The majority of the homes in this project are two story, and **as conditioned**, there will be a 1.5 story design included, to offer visual disruption to the uniform appearance of the block, in an attempt to deemphasize the look of a newly created subdivision, to better help the project blend. The Riverside Avondale Historic District is distinctive for its diverse architecture, and with the addition of a 1.5 story design, this will help to incorporate this important element into this project.

**Chapter 307.106(m) 7. Directional Expression**

*Facades in historic districts shall blend with other structures with regard to directional expression. Structures in a historic district shall be compatible with the dominant horizontal or vertical expression of surrounding structures. The directional expression of a landmark after alteration, construction, or partial demolition shall be compatible with its original architectural style and character.*

- The proposed placement with the primary elevation facing the street is standard in the Riverside / Avondale Historic District. Although half the homes do not front on a public street, but rather a private park, the location of these rear lots, **as conditioned**, reflect the common development type found in the district where a single home can have a fully converted garage / apartment dwelling unit. In effect, these second homes serve as the detached converted garage in context to the homes that do front on College Street. Thus replicating a common design and location for converted accessory structures. Additionally, the conditions related to engagement of the side streets by the outside rear lots further helps to integrate the project into the neighborhood, reflecting a common feature of corner lots. Especially in this case, as there is no other opportunity for street engagement.

#### **Chapter 307.106(m) 8. Architectural Details**

*Architectural details including materials and textures shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district.*

- The *Historic Preservation Regulations for the Riverside / Avondale Historic Districts* suggest that for new construction, materials that are compatible in quality, color, texture, finish, and dimension to those common to the district should be used<sup>4</sup>. The proposed design of the new construction contains many architectural details that are in keeping with historic elements found throughout the Riverside / Avondale Historic District. Such details include:
  - The proposed fiber-cement lap siding and shake shingles are a contemporary versions of the wood lap siding and cedar shingles that are prolific in the Riverside / Avondale Historic District.
  - **As conditioned**, the use of vertically-oriented windows spaced evenly throughout.
  - The use of a hip & gable style roof designs with a hip and gable roof designs over dormers and one-story porches are common architectural features found in the Riverside / Avondale Historic District.
  - The various width front porches with various column designs, **as conditioned**, are consistent with the immediate area and the District.

#### **Chapter 307.106(m) 9. Impact on Archaeological Sites**

*New construction shall be undertaken in such a manner as to preserve the integrity of archaeological sites and landmark sites.*

- It is the opinion of the Planning and Development Department that the proposed new

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<sup>4</sup> *Historic Preservation Guidelines for the Springfield Historic District*, The Jacksonville Planning and Development Department, 1992.

## EXHIBIT A

residence would most likely not impact archeological resources, given that this site show evidence of previous development. However, as this project will be a new subdivision, as defined in chapter 654 of the municipal code, they will be required to conduct an archeological survey.

6. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property would be affected.*

### EFFECT OF WORK ON STRUCTURE OR SITE

The proposed new construction is consistent with Standards Nine of the *Secretary of the Interior's Standards for Rehabilitation*. Standard Nine emphasizes that new construction shall not destroy historic materials, is differentiated from the old while being compatible in massing, size, scale, and architectural features in order to preserve the historical integrity of the property and its immediate surroundings. Since being constructed vacant parcels with adjacent new construction proposed and compatibly height and styles with the surrounding contributing structures, **as conditioned** no historic fabric will be impacted. The proposed residences are differentiated by their various designs and materials while being compatible in massing, size, scale and architectural features of adjacent properties.

The proposed structure will contribute to the creation of a traditional residential streetscape consistent with surrounding parts of the Springfield Historic District; thus building context within the district.

7. *Whether the plans may be carried out by the applicant within a reasonable period of time.*

### TIME FRAMES

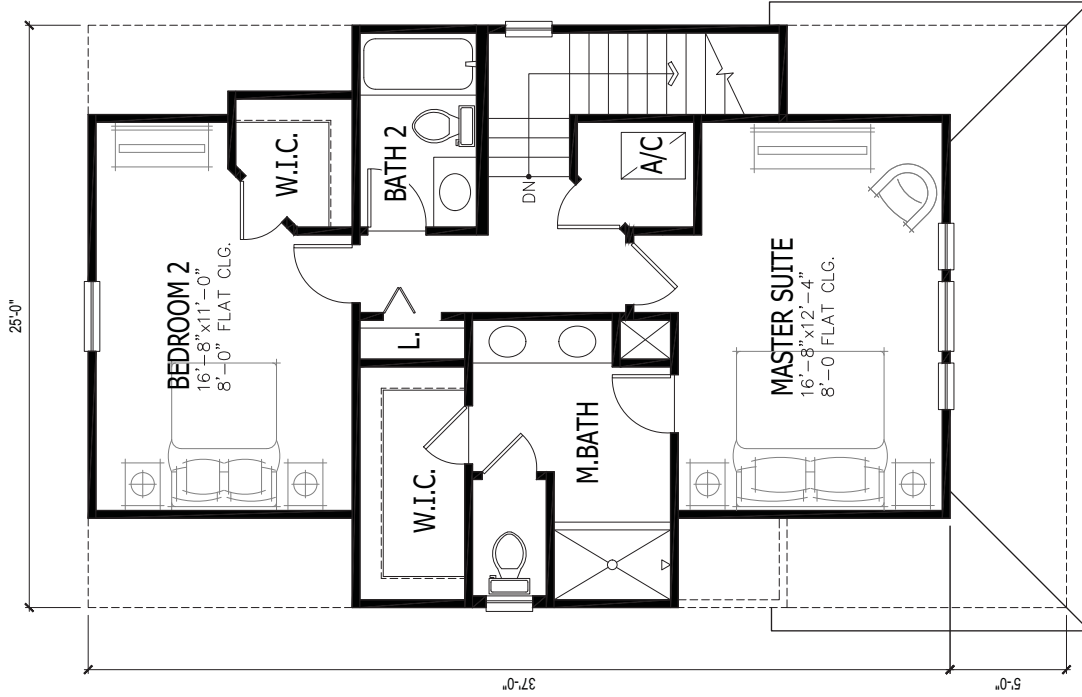
Chapter 307.106 (S) of the Jacksonville Ordinance Code states, "Any certificate of appropriateness which has been approved pursuant to the provisions of this Section shall expire 12 months from the date of issuance if the work authorized is not commenced within this period. Further, such certificate shall expire if the work authorized is not completed within five years of the date of issuance, unless otherwise extended by the Commission." It is the opinion of the Planning and Development Department that the proposed work can be completed within a reasonable period, however, as this project is tied to additional legislative action, **staff would suggest that "commenced" be amended to include the Approval of the PUD legislation. It may take the applicant several months to complete the approval process though the City Council, and my not begin actual construction in the one year period.**

**COA-18-21064**

**Addendum**



EXHIBIT B



SQUARE FOOTAGES	
MAIN FLOOR	900
UPPER FLOOR	713
SUBTOTAL	1613
PORCH	95
REAR PORCH	55
TOTAL	1763



Plan 1613

Main Floor Plan Scale: 3/16" = 1'-0"

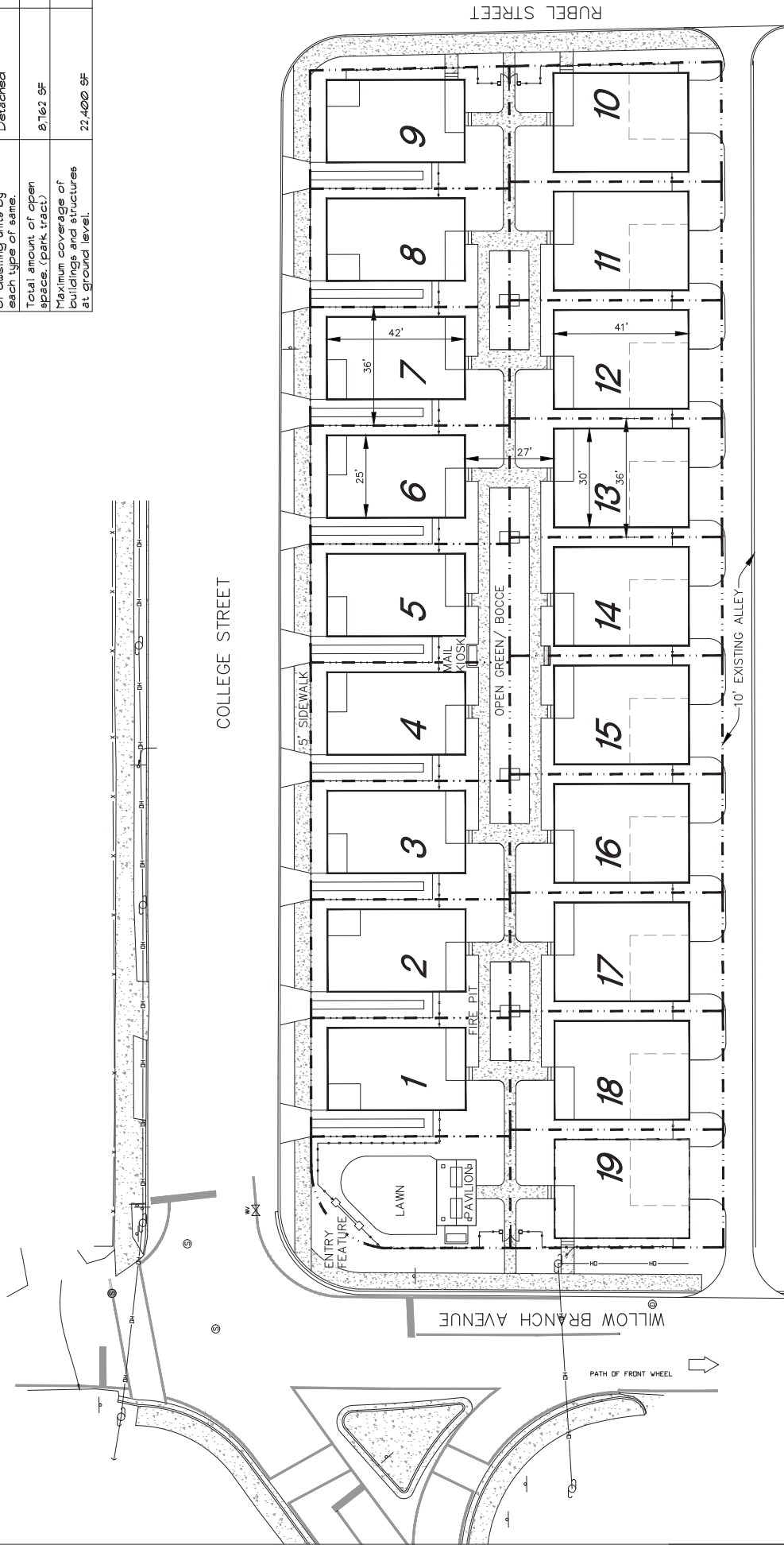
Cottages on Collage  
 Project #17152  
 08.16.2018  
 AA26002897  
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EXHIBIT B

EXHIBIT E

Total gross SF	1,03 AC	100%
Amount of different land use by SF	Residential 1,03 AC	100%
Total number and type of dwelling units by each type of same.	Single Family Detached	19
Total amount of open space (park tract)	8,762 SF	20%
Maximum coverage of buildings and structures at ground level.	22,400 SF	50%



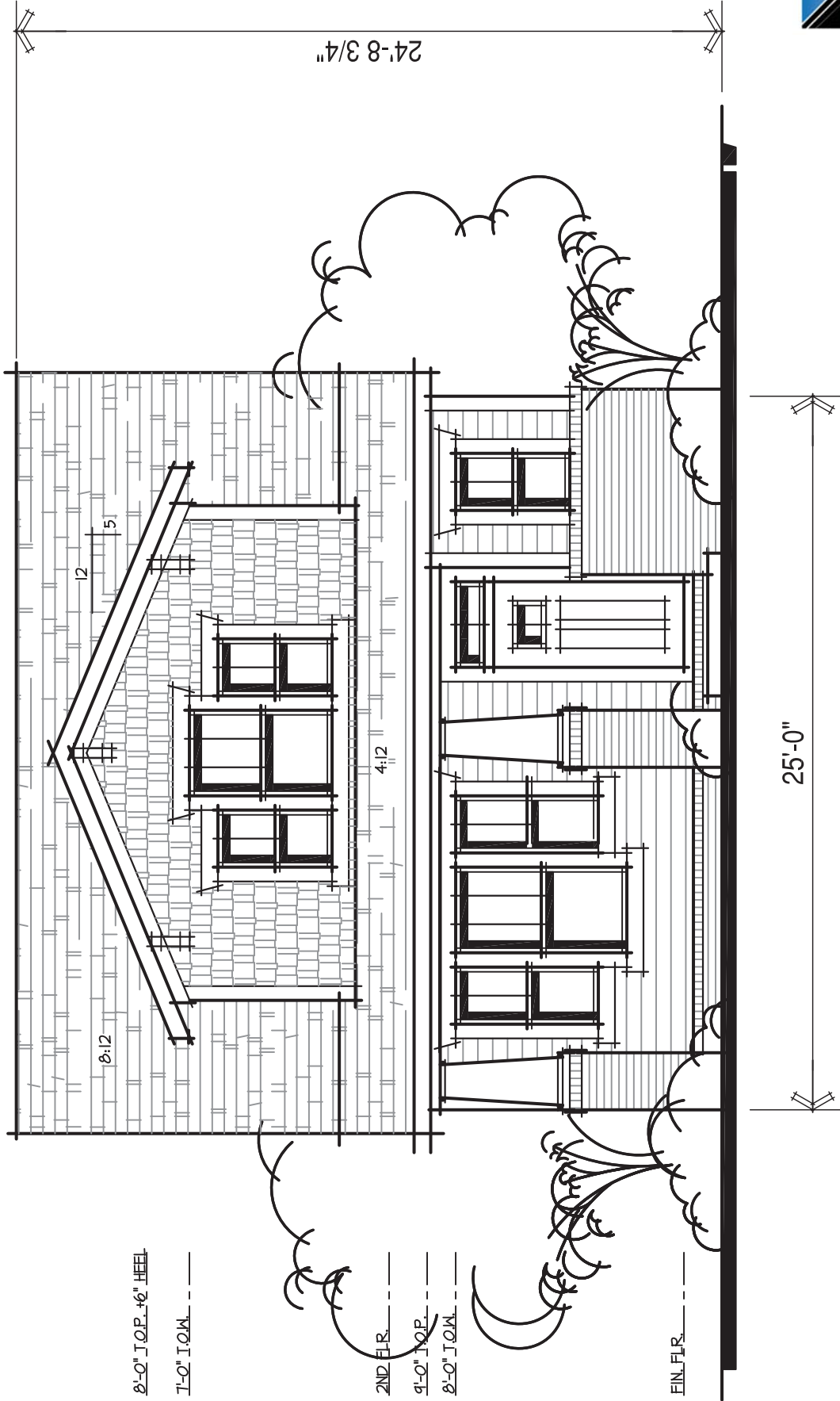
# COLLEGE STREET - PUD

JWB REAL ESTATE CAPITAL



August 16, 2018

EXHIBIT B



0'-0" TOP. + 6" HEEL

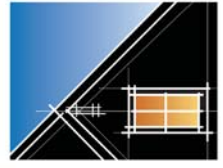
1'-0" TOP.

2ND FLR.

1'-0" TOP.

0'-0" TOP.

FIN. FLR.



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DESIGN  
MATTERS

COTTAGES ON COLLEGE STREET

17152

AA26002897

08-16-18

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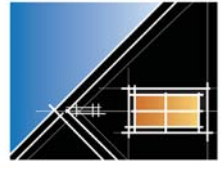
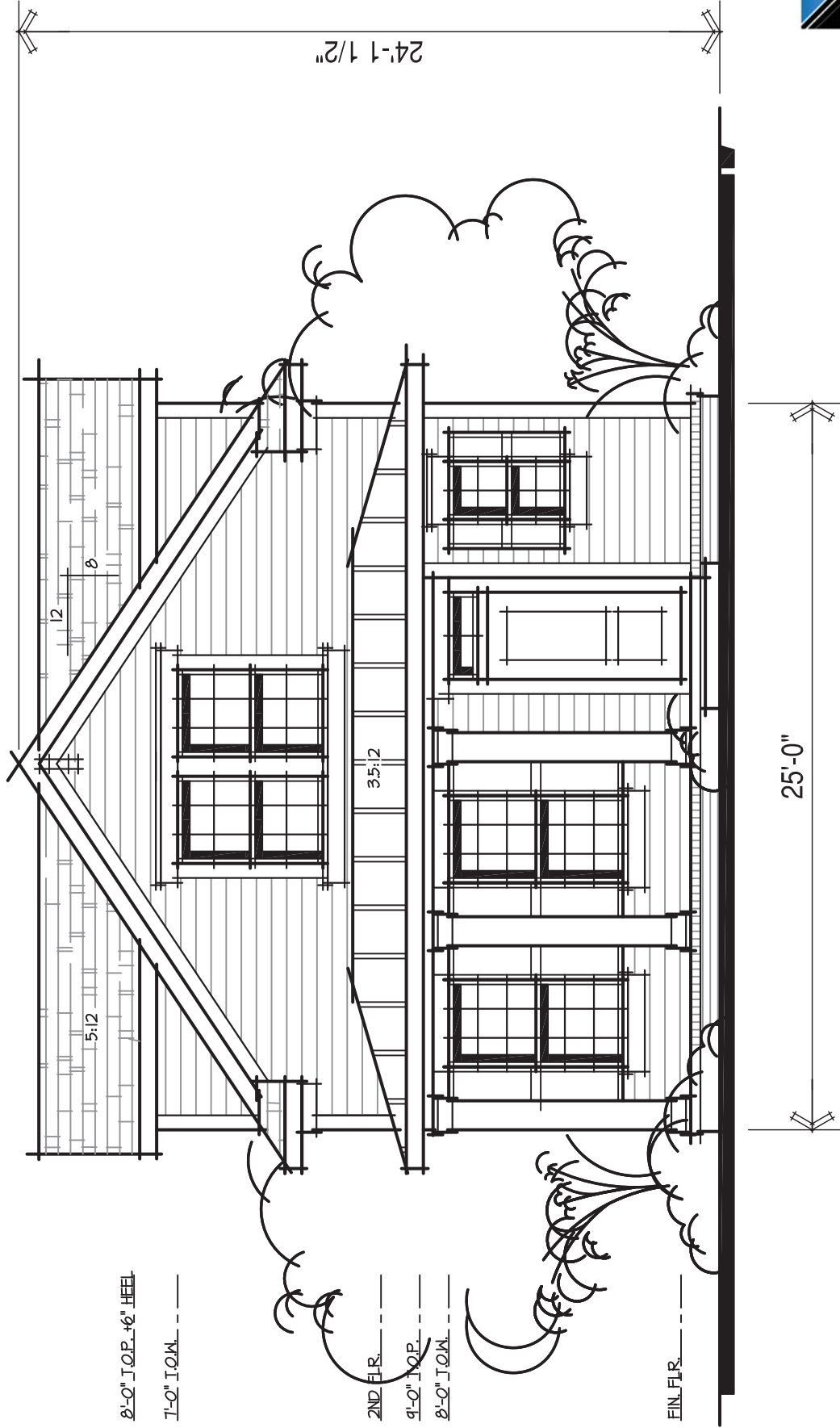
1624

Craftsman



JWB  
REAL ESTATE CAPITAL

EXHIBIT B



HOUSING  
DESIGN  
MATTERS

COTTAGES ON COLLEGE STREET

17152

AA26002897

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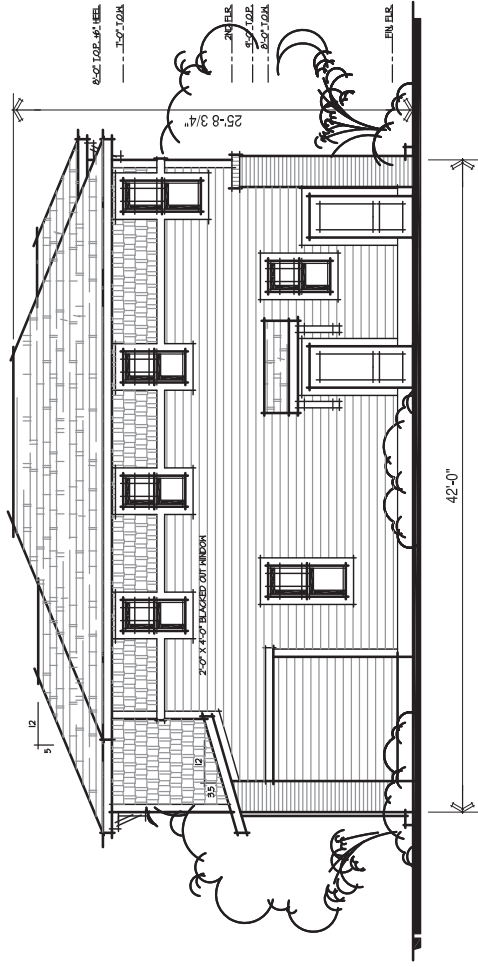
Craftsman



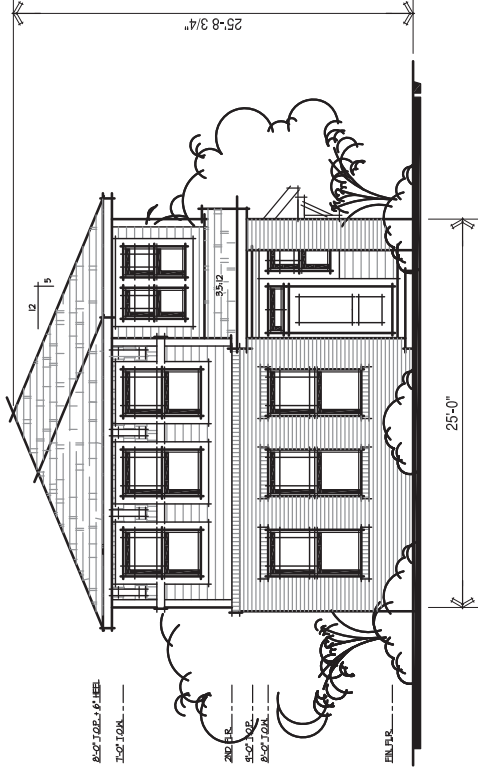
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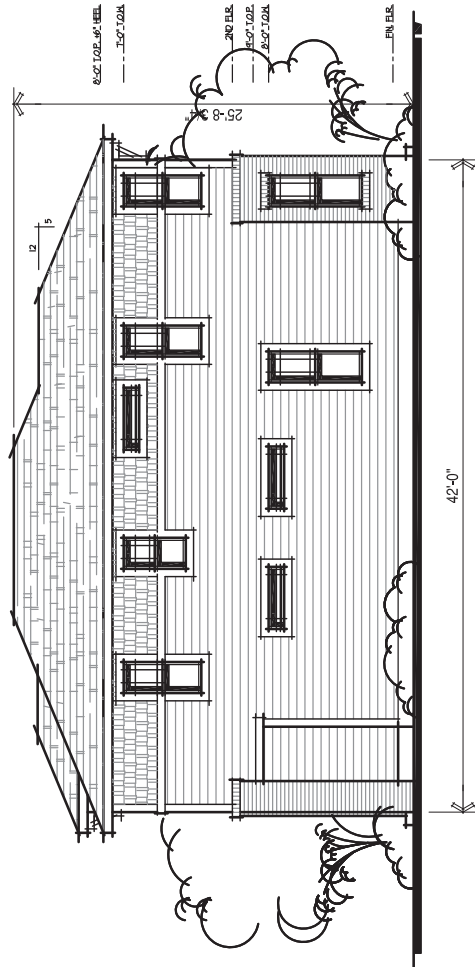
**EXHIBIT B**



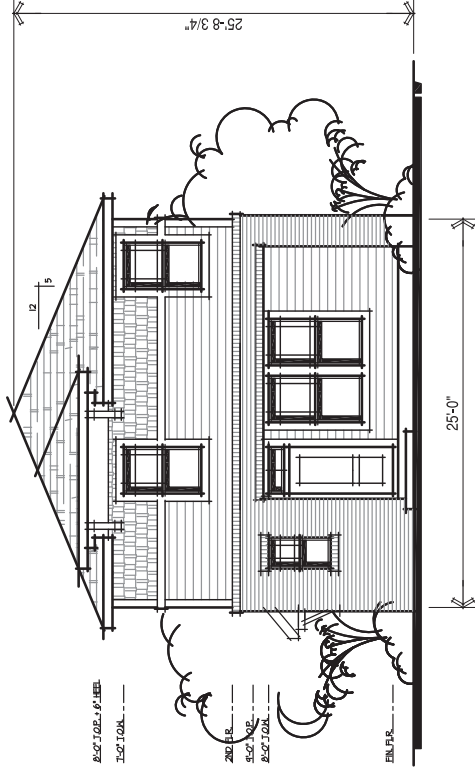
**Right Side Elevation**



**Front Elevation**



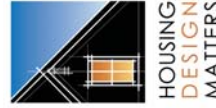
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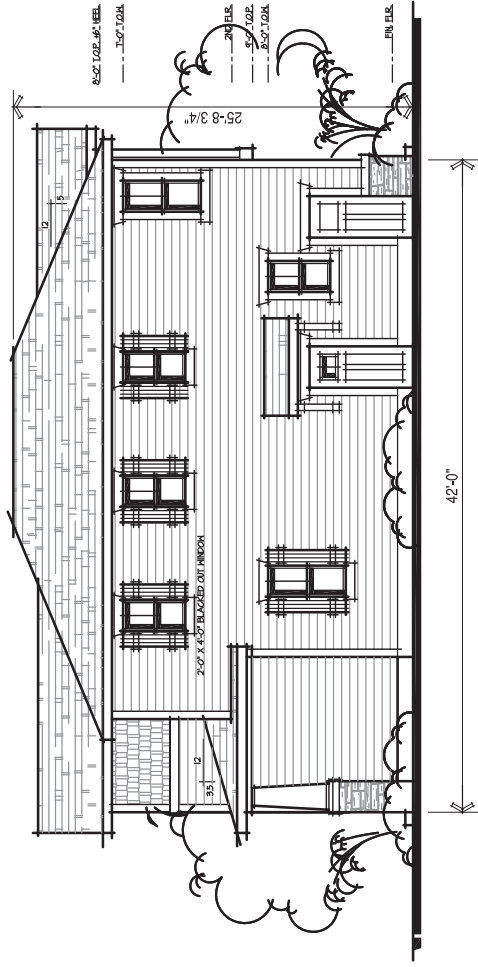
**Rear Elevation**

**1791**  
 Prairie  
 1/8" = 1'-0"

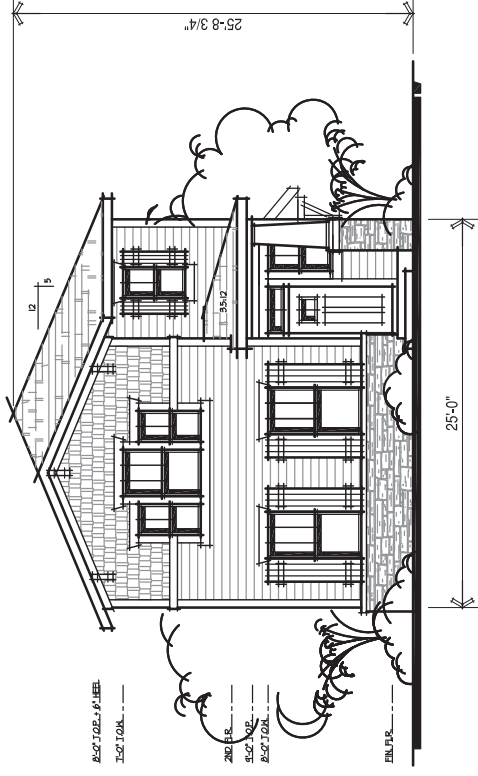
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 AA26002897  
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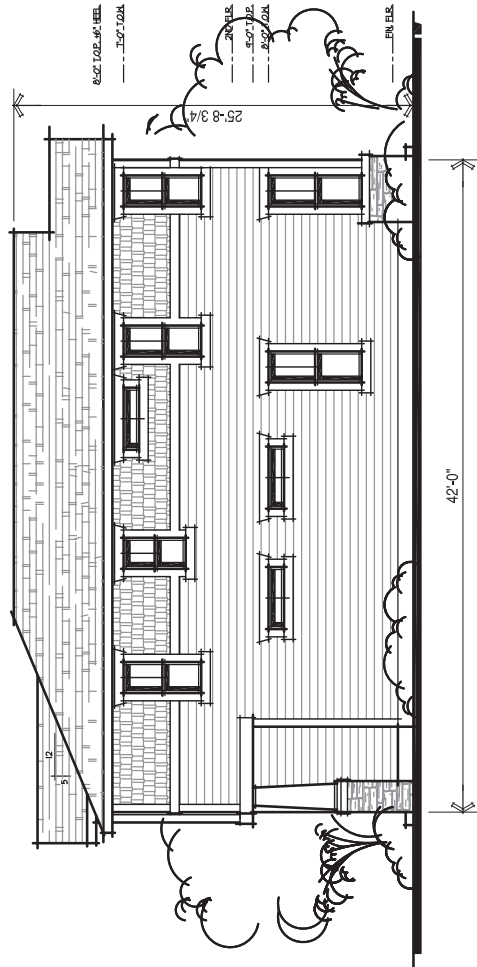
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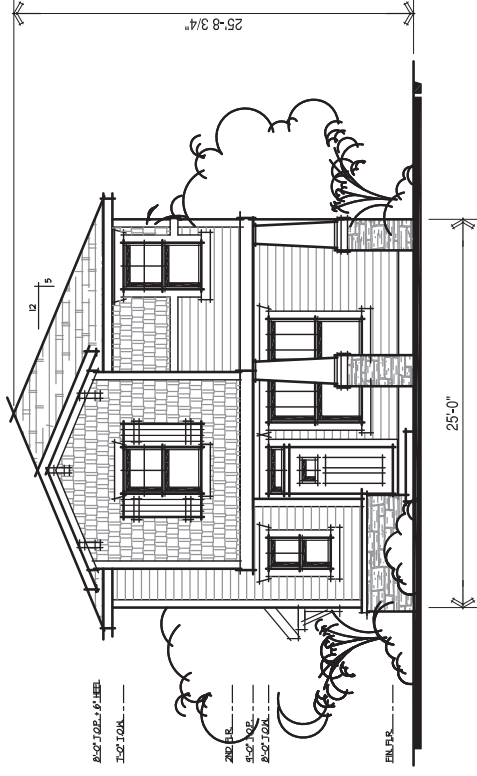
Right Side Elevation



Front Elevation



Left Side Elevation



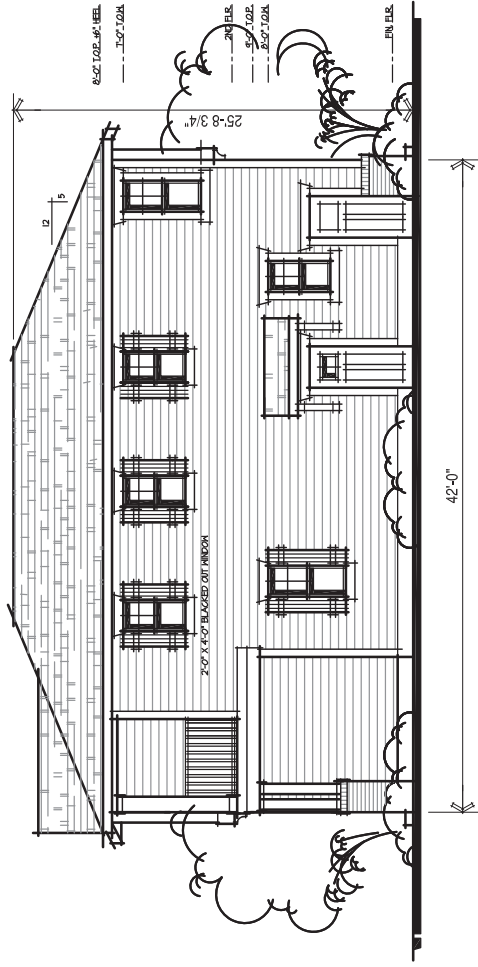
Rear Elevation

**1791**  
 Craftsman A  
 1/8" = 1'-0"

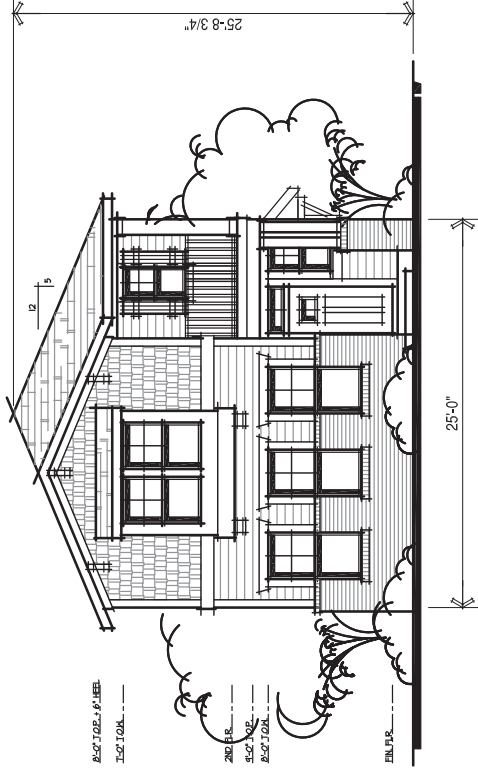
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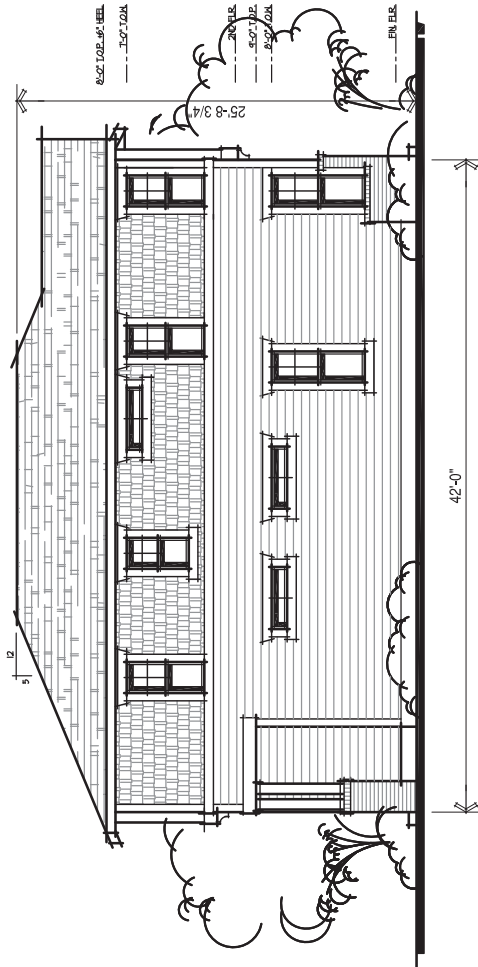
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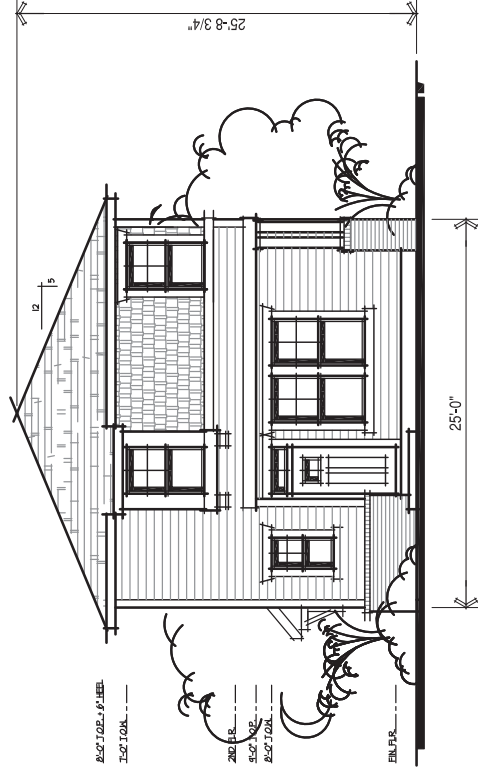
Right Side Elevation



Front Elevation



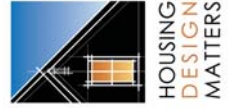
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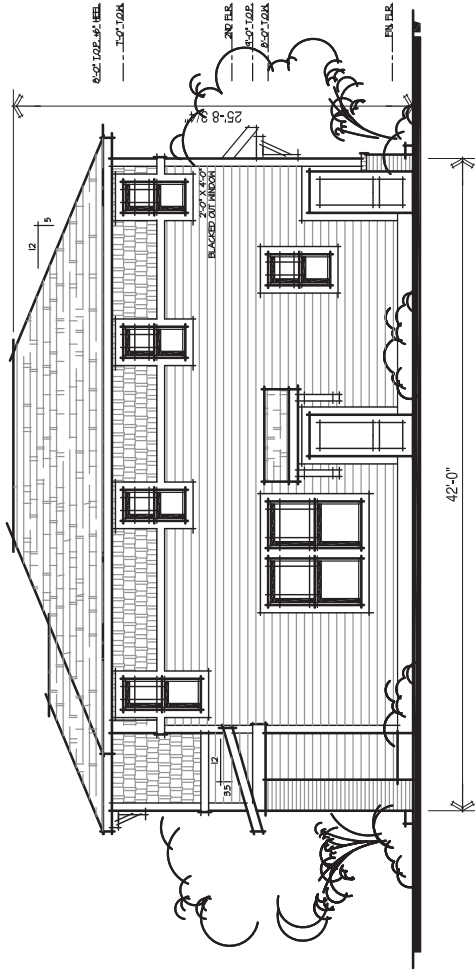
Rear Elevation

**1791**  
 Craftsman B  
 1/8" = 1'-0"

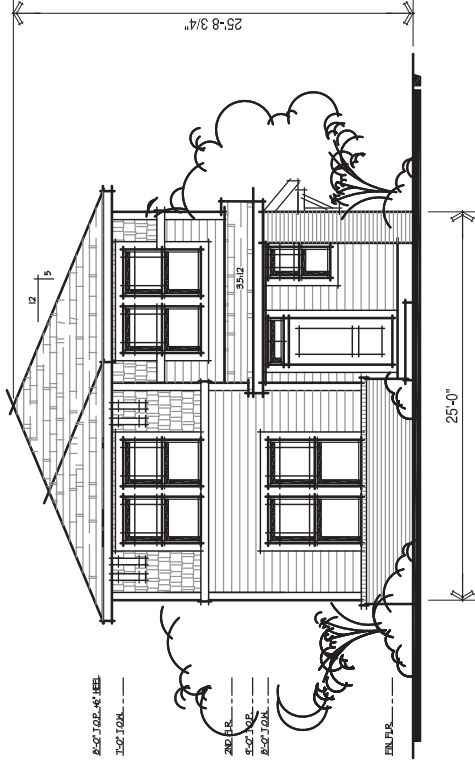
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**EXHIBIT B**



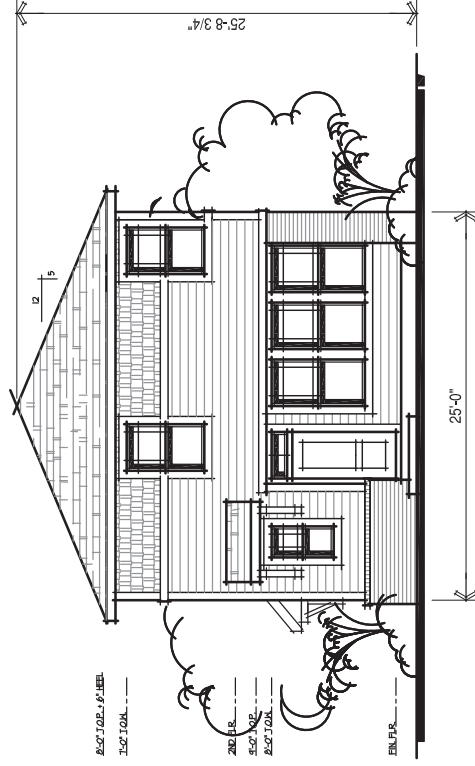
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Front Elevation



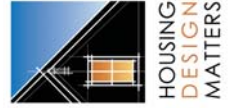
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Rear Elevation

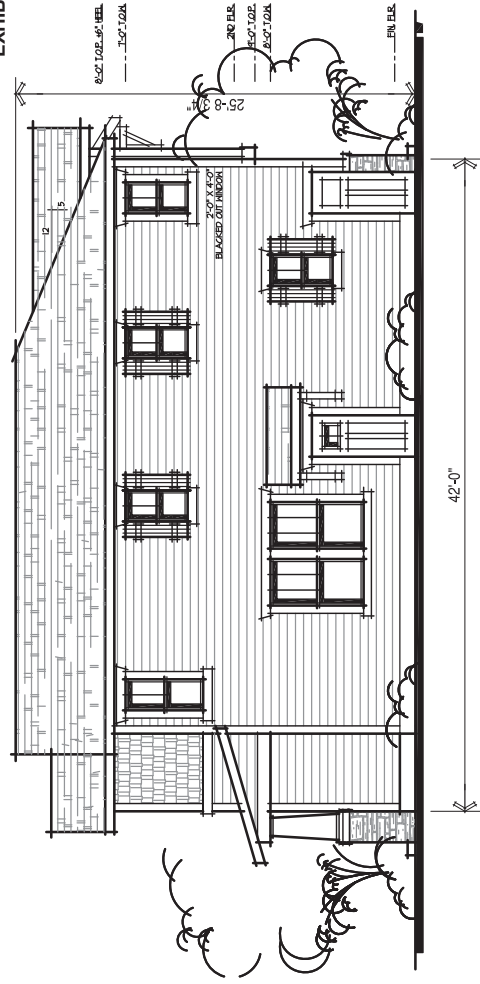
**1817**  
Prairie  
1/8" = 1'-0"

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AA26002897  
08-15-18  
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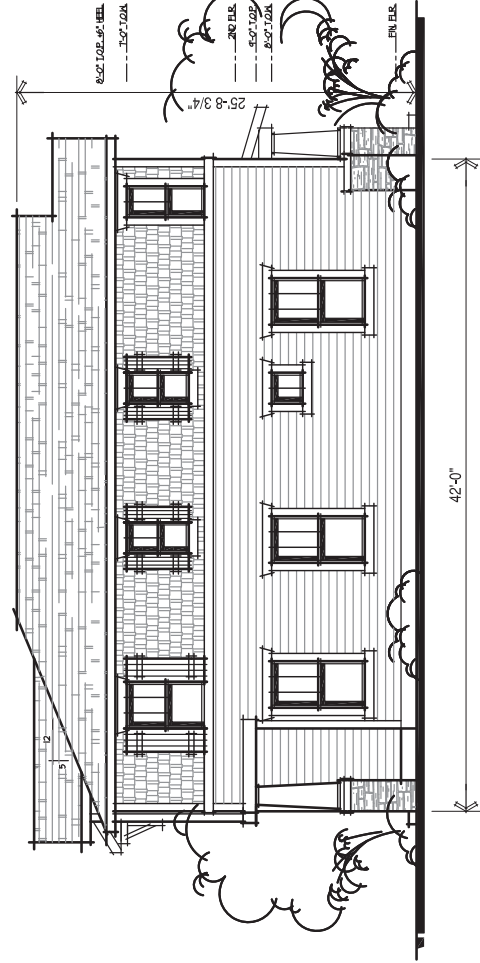




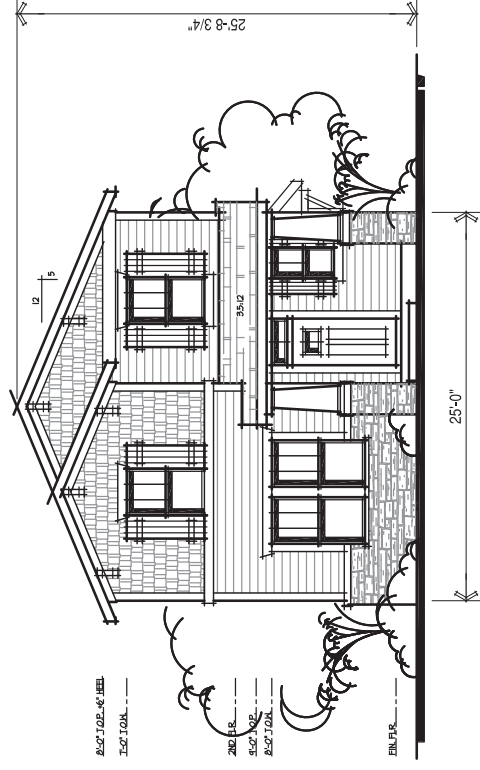
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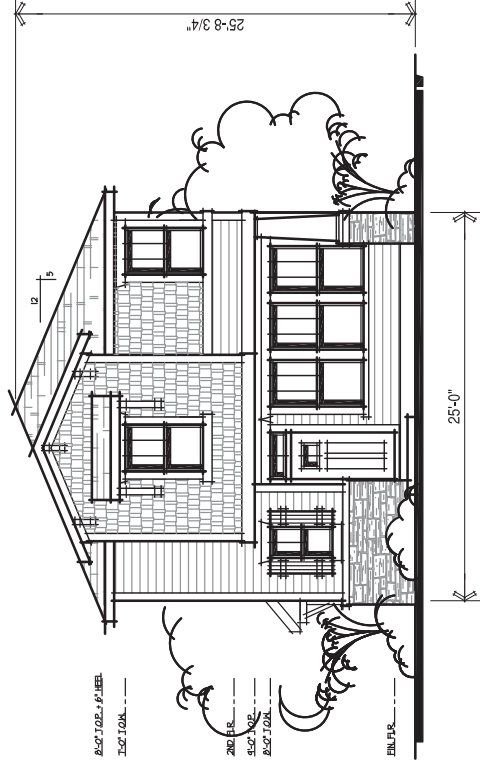
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Left Side Elevation



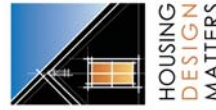
Front Elevation



Rear Elevation

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 Craftsman A  
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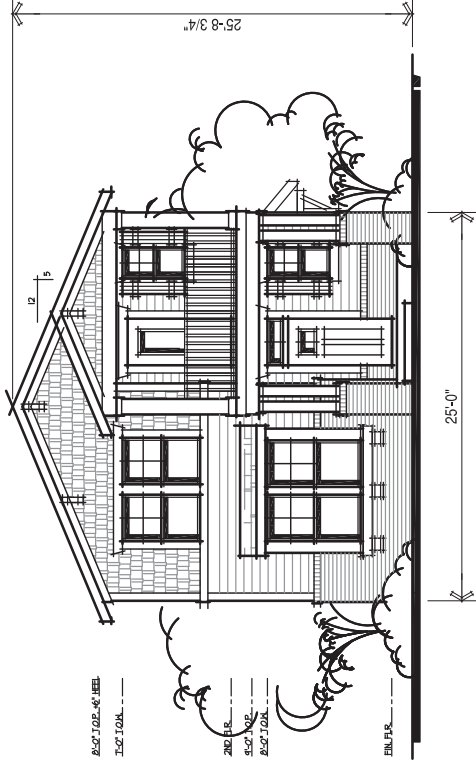
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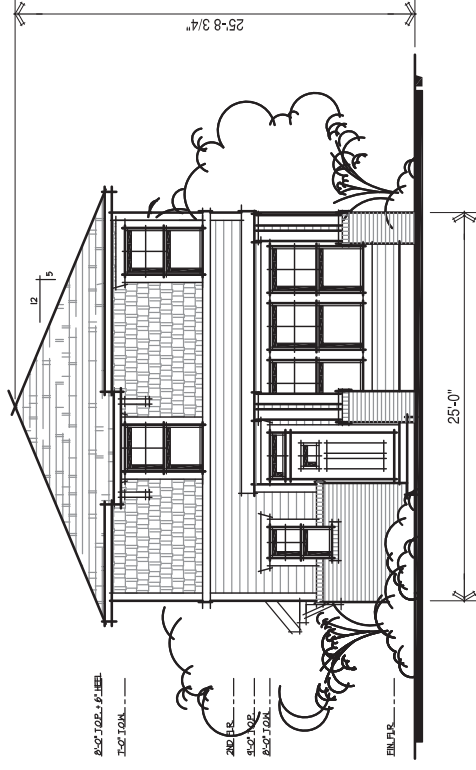
**Right Side Elevation**



**Left Side Elevation**



**Front Elevation**



**Rear Elevation**

**1817**  
**Craftsman B**  
 1/8" = 1'-0"

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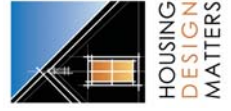
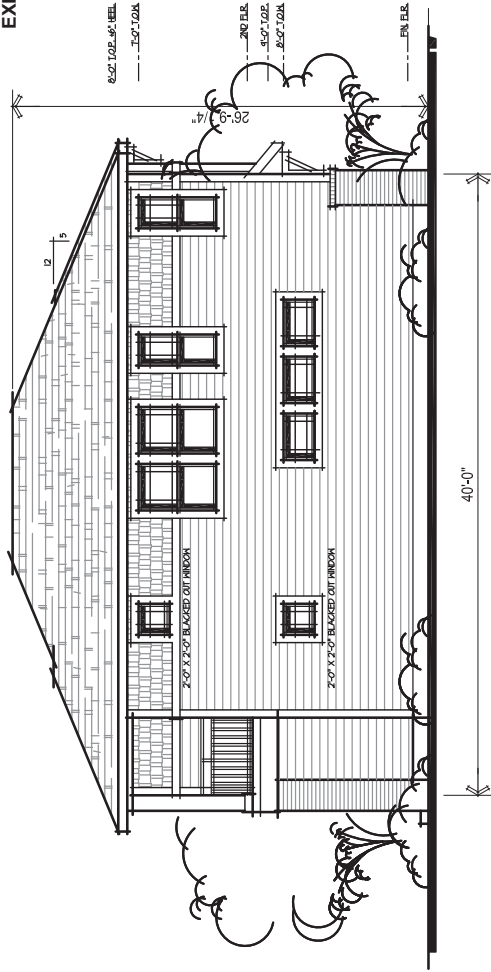
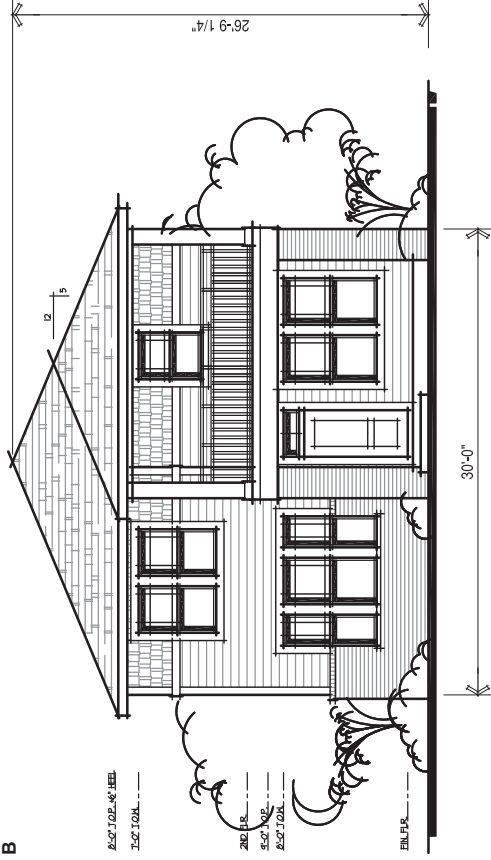


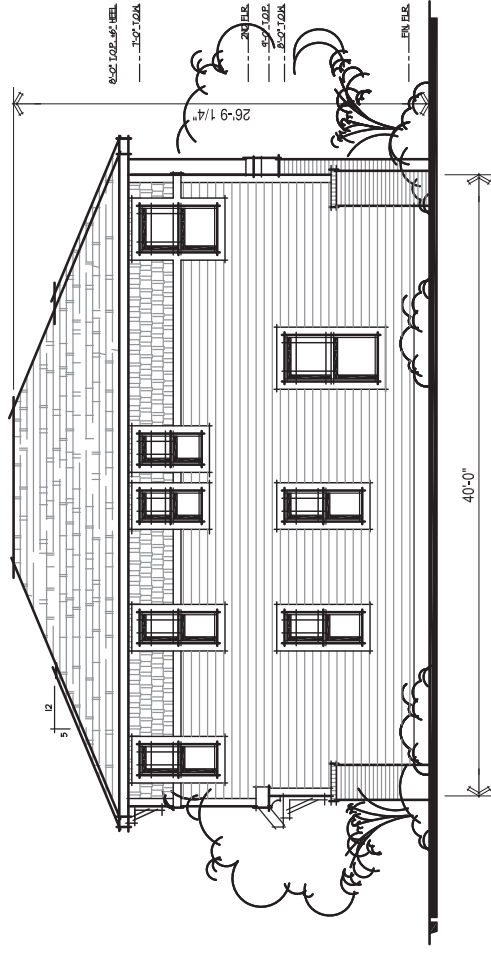
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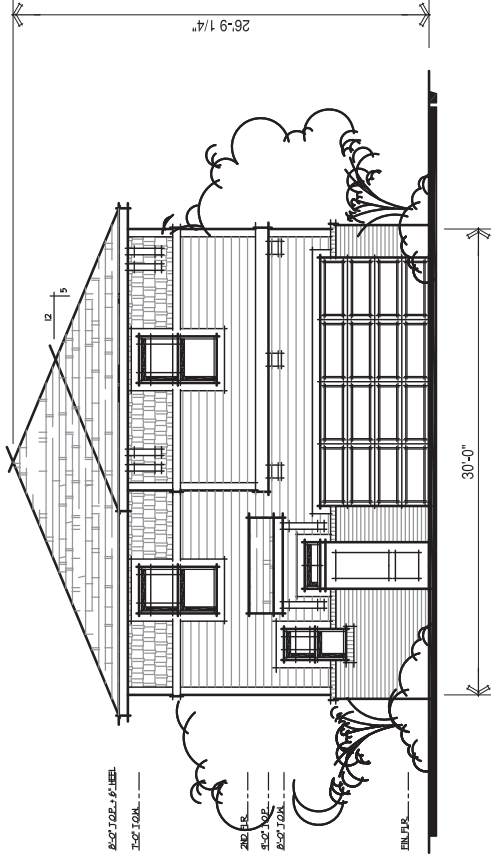
Right Side Elevation



Front Elevation



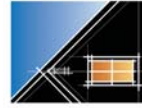
Left Side Elevation



Rear Elevation

1805  
Prairie  
1/8" = 1'-0"

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17152  
AA26002897  
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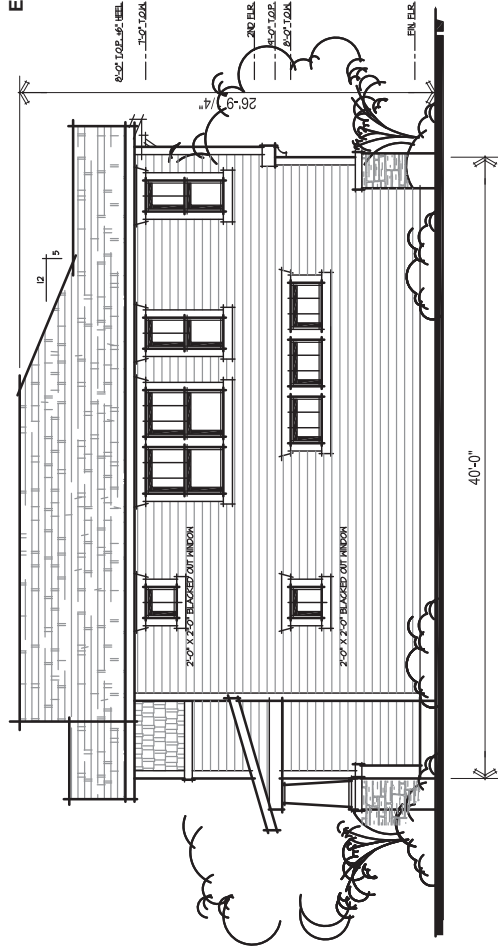


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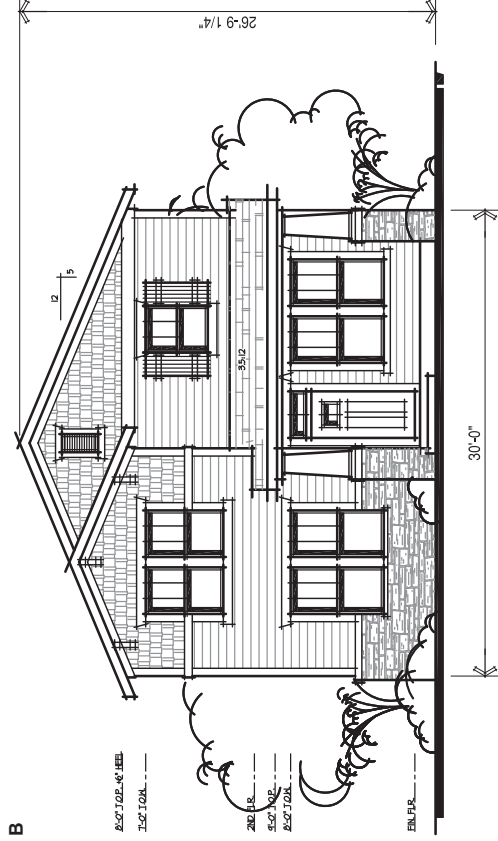


REAL ESTATE CAPITAL

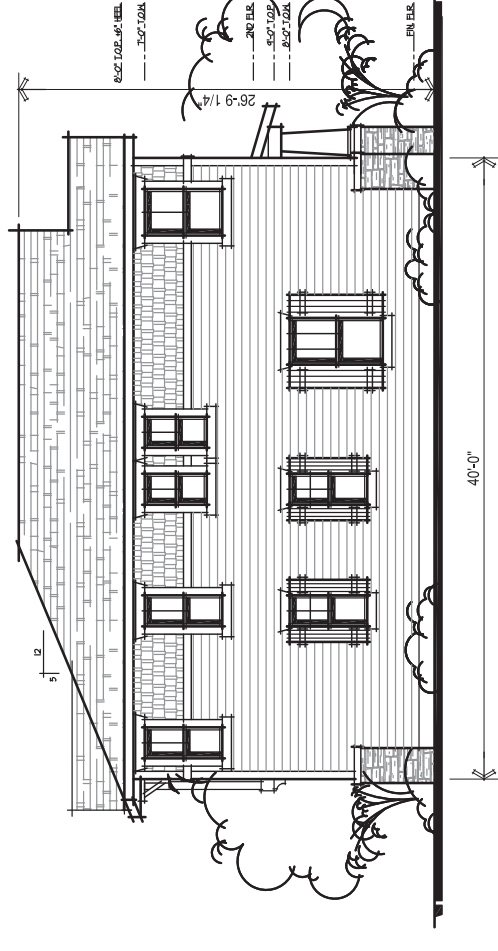
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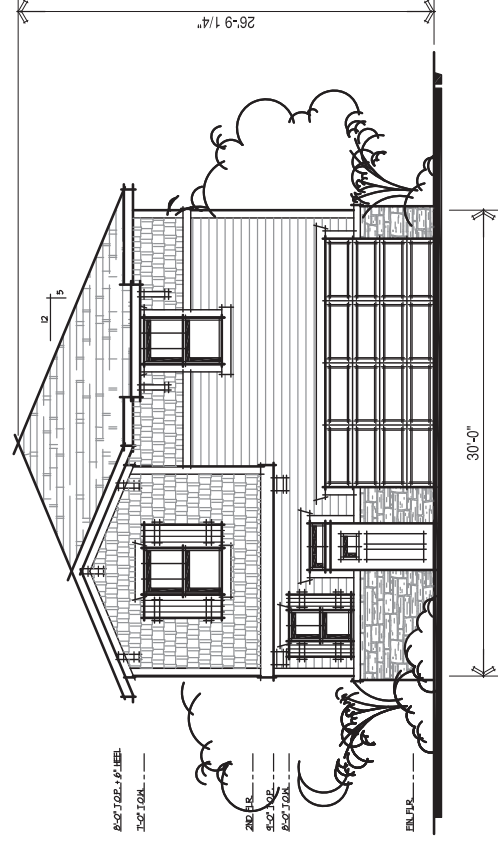
Right Side Elevation



Front Elevation



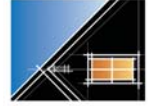
Left Side Elevation



Rear Elevation

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Craftsman  
1/8" = 1'-0"

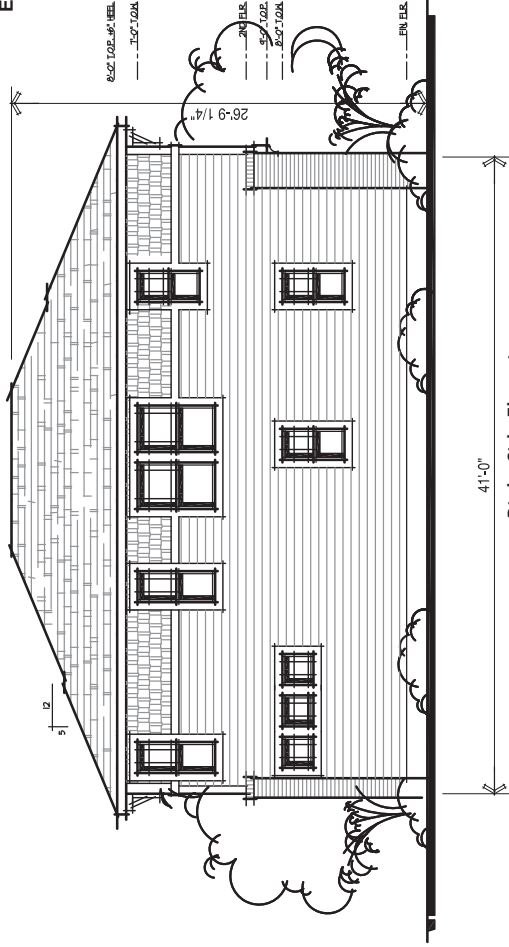
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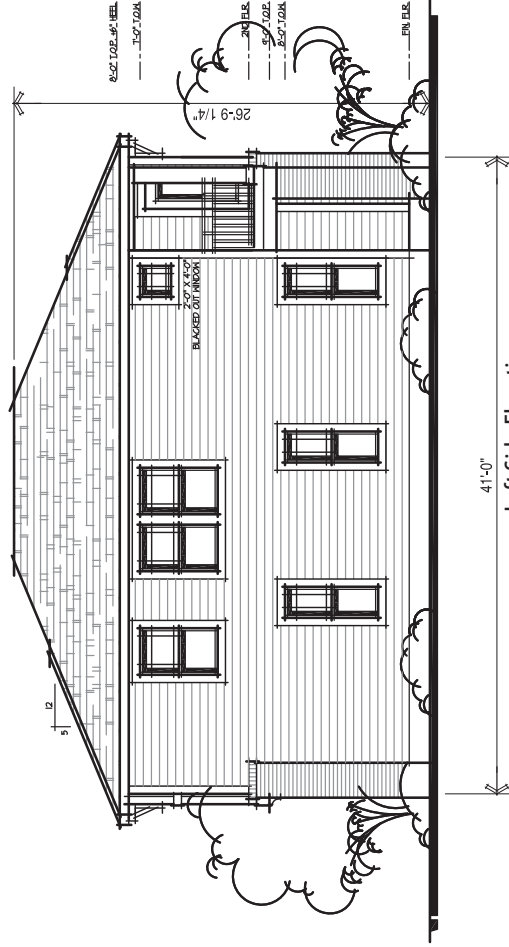
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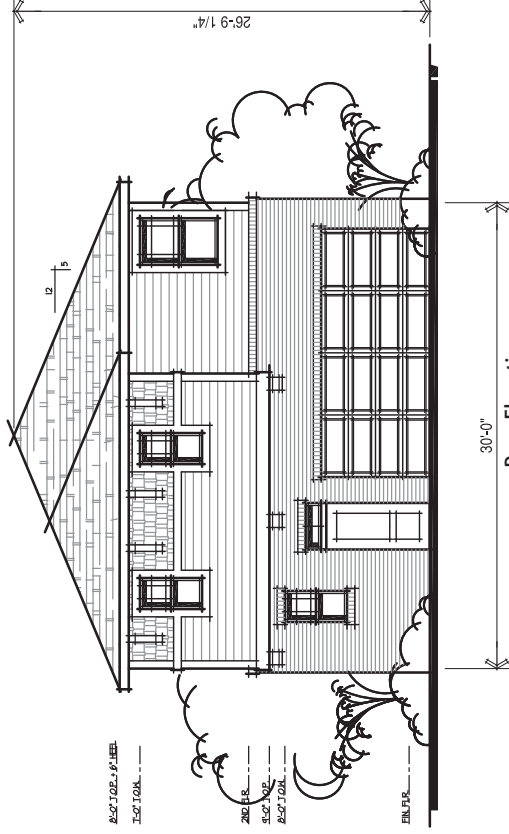
Right Side Elevation



Front Elevation



Left Side Elevation



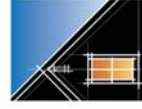
Rear Elevation

1825  
Prairie  
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COURTYARD HOMES  
17152

AA26002897  
08-15-18

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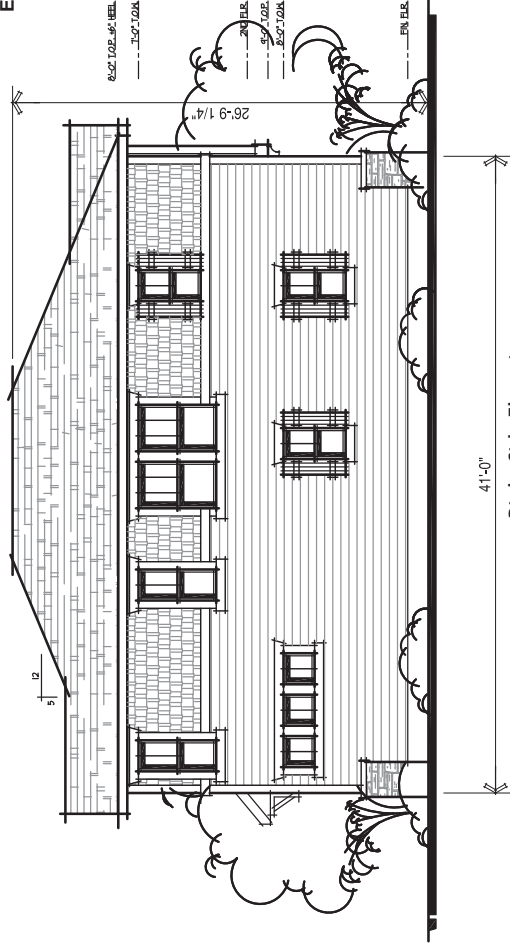


HOUSING  
DESIGN  
MATTERS

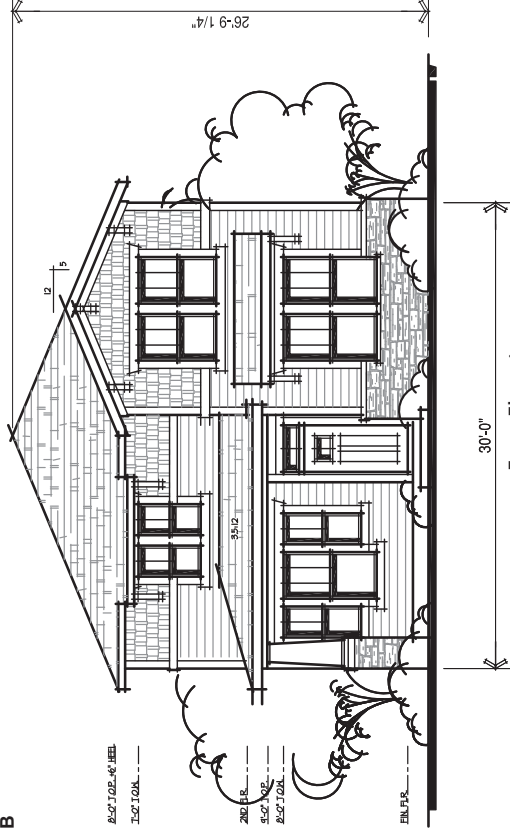




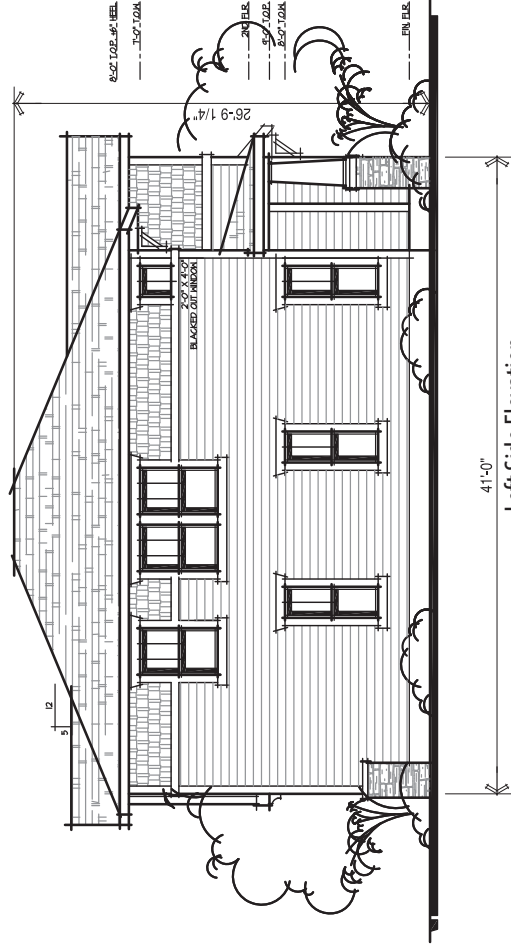
EXHIBIT B



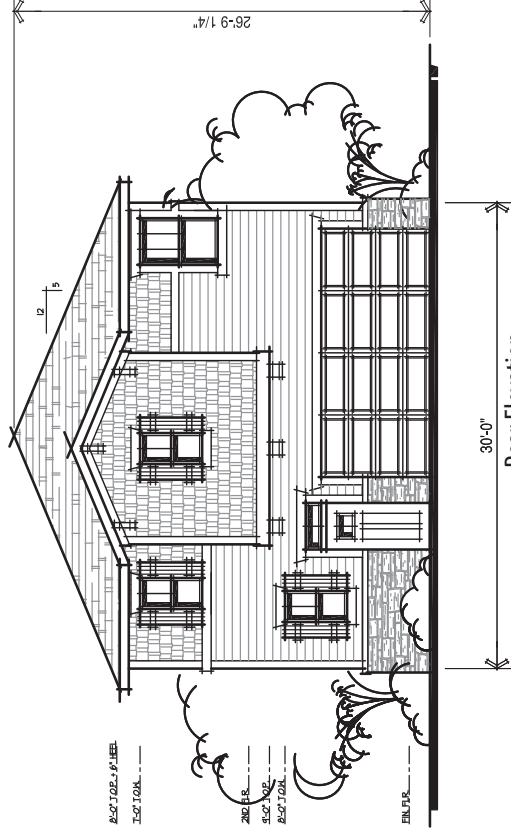
41'-0"  
Right Side Elevation



30'-0"  
Front Elevation



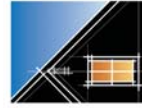
41'-0"  
Left Side Elevation



30'-0"  
Rear Elevation

1825  
Craftsman  
1/8" = 1'-0"

COURTYARD HOMES  
17152  
AA26002897  
08-15-18  
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HOUSING  
DESIGN  
MATTERS



EXHIBIT B



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



EXHIBIT B



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation

CITY OF JACKSONVILLE  
HISTORIC PRESERVATION  
COMMISSION

Proceedings held on Wednesday, August 22, 2018,  
commencing at 3:00 p.m., Ed Ball Building, 214 North  
Hogan Street, Conference Room 1002, 1st Floor,  
Jacksonville, Florida, before Diane M. Tropia, a Notary  
Public in and for the State of Florida at Large.

PRESENT:

JACK C. DEMETREE, III, Chairman.  
RYAN P. DAVIS, Vice Chair.  
ERIK C. KASPER, Secretary.  
ANDRES LOPERA, Commission Member.  
TIMOTHY BRAMWELL, Commission Member.

ALSO PRESENT:

CHRISTIAN POPOLI, Planning and Development Dept.  
LISA SHEPPARD, Planning and Development Dept.  
SHANNON ELLER, Office of General Counsel.  
CANDACE LONG, Planning and Development Dept.

- - -

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3

1 to the front here. We're going to take a break  
2 every two hours.  
3 I will entertain a motion to pass our  
4 minutes from the July 25th meeting.  
5 COMMISSIONER DAVIS: Motion to pass the  
6 July 25th minutes.  
7 COMMISSIONER LOPERA: Second.  
8 THE CHAIRMAN: All those in favor?  
9 COMMISSION MEMBERS: Aye.  
10 THE CHAIRMAN: Those opposed?  
11 COMMISSION MEMBERS: (No response.)  
12 THE CHAIRMAN: Hearing none, you passed  
13 the minutes from the July 25th meeting.  
14 We're going to go right into the consent  
15 agenda. I'm going to split the consent agenda  
16 into two today because one of our commissioners  
17 has two on the consent agenda. I'm going to  
18 start with COA-18-20638, 1529 Donald Street,  
19 and COA-18-21070, 1243 Hollywood Avenue. I'm  
20 going to open the public hearing.  
21 Is there anyone here to speak on either of  
22 those COAs?  
23 AUDIENCE MEMBER: I'm only here for  
24 questions about Number 1.  
25 THE CHAIRMAN: I'll close the public  
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2

1 PROCEEDINGS  
2 August 22, 2018 3:00 p.m.  
3 - - -  
4 THE CHAIRMAN: We're going to go ahead and  
5 start the August 22nd meeting of the  
6 Jacksonville Historic Preservation Commission.  
7 We're going to start with introductions.  
8 Christian, if you would.  
9 MR. POPOLI: Christian Popoli, Planning  
10 and Development.  
11 MS. ELLER: Shannon Eller, Office of  
12 General Counsel.  
13 COMMISSIONER BRAMWELL: Tim Bramwell,  
14 Commissioner.  
15 COMMISSIONER DAVIS: Ryan Davis,  
16 Commissioner.  
17 THE CHAIRMAN: J.C. Demetree, Chairman.  
18 COMMISSIONER KASPER: Erik Kasper,  
19 Commissioner.  
20 COMMISSIONER LOPERA: Andres Lopera,  
21 Commissioner.  
22 THE CHAIRMAN: If you all could please  
23 silence your cell phones. Any conversations  
24 please have out in the hallway. If anybody  
25 would like to speak, if you could just please  
fill out a yellow speaker card and bring it up  
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4

1 hearing. Do any commissioners have any  
2 ex-parte to declare?  
3 COMMISSIONER LOPERA: Yes, I will, for the  
4 big one, the cottages on College Street.  
5 THE CHAIRMAN: I'll get there. So I'll  
6 take a motion to pass Number 1 and Number 4 on  
7 the consent agenda.  
8 COMMISSIONER BRAMWELL: Second.  
9 COMMISSIONER KASPER: He said he will take  
10 the motion.  
11 COMMISSIONER BRAMWELL: Oh, sorry. I'll  
12 make a motion to approve Items 1 and 4 of the  
13 consent agenda.  
14 COMMISSIONER DAVIS: Second.  
15 THE CHAIRMAN: All those in favor?  
16 COMMISSION MEMBERS: Aye.  
17 THE CHAIRMAN: Those opposed?  
18 COMMISSION MEMBERS: (No response.)  
19 THE CHAIRMAN: Hearing none, you have  
20 approved a portion of the consent agenda.  
21 We'll move to the second part of the  
22 consent agenda.  
23 Ryan, I'm assuming -- what does he need to  
24 do for this? Anything?  
25 MS. ELLER: To the Chair, he will just  
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5

1 announce that he's recusing himself because he  
2 has an interest in the project, and he has the  
3 forms in front of him that need to be signed  
4 today and given to staff.

5 COMMISSIONER DAVIS: I will recuse myself  
6 from COA-18-20936 and COA-18-20937.

7 THE CHAIRMAN: So the second part of the  
8 consent agenda, COA-18-20936, 1224 Willow  
9 Court, COA-18-20937, 0 Willow Branch Avenue,  
10 I'm going to go ahead and open the public  
11 hearing on that.

12 Is there anyone here to speak on either of  
13 those COAs?

14 AUDIENCE MEMBERS: (No response.)

15 THE CHAIRMAN: Seeing none, we'll close  
16 the public hearing, and I'll entertain a  
17 motion.

18 COMMISSIONER KASPER: I make a motion to  
19 approve COA-18-20936 and COA-18-20937.

20 COMMISSIONER LOPERA: Second.

21 THE CHAIRMAN: All those in favor?

22 COMMISSION MEMBERS: Aye.

23 (Commissioner Davis abstains from voting.)

24 THE CHAIRMAN: Those opposed?

25 COMMISSION MEMBERS: (No response.)

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1 THE CHAIRMAN: Hearing none, you've passed  
2 the second part of the consent agenda, and we  
3 will move on to COA- --

4 MR. POPOLI: Through the Chair, the  
5 applicant for 3rd Street is here, so we can  
6 take that up in order.

7 THE CHAIRMAN: So we're going to start  
8 with COA-18-20773, 133 West 3rd Street. Do any  
9 commissioners have any ex-parte?

10 COMMISSION MEMBERS: (No response.)

11 THE CHAIRMAN: Hearing none, I'll take a  
12 staff report.

13 MS. SHEPPARD: Commissioners, there's  
14 three parts of this application, one being  
15 the -- actually, four. Adding a single story  
16 wraparound porch to the front facade.

17 Currently, there is just kind of a stoop there.  
18 We do have historic evidence that there was a  
19 wraparound porch at one point.

20 The second scope is that it's an  
21 alteration to -- what we're calling the sun  
22 room that you're seeing on the screen there.  
23 It has the grouping of windows on both the  
24 front and the side, and then some walkways on  
25 the front of the property that we could handle

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1 at the staff level, so our report didn't really  
2 get into that, and then window replacement for  
3 the overall structure, some select windows  
4 that -- what remains of historic windows.

5 So just to touch all of these, the  
6 wraparound porch, as I said before, we do have  
7 evidence that there was one on this structure.

8 THE CHAIRMAN: Lisa, hang on one second.

9 If everybody could please take their  
10 conversations outside. Our court reporter is  
11 having a hard time hearing.

12 Thanks.

13 MS. SHEPPARD: Our evidence shows it would  
14 have gone across the whole front of the  
15 two-story portion and then the left side where  
16 the sun room is currently located.

17 After doing some Sanborn map research, we  
18 believe that the existing feature that you see  
19 on the side is a combination of what remains of  
20 the wraparound porch, that has since been  
21 altered and expanded. And you can't tell from  
22 these pictures on the screen right now, but  
23 that feature actually is a lot longer down the  
24 side of the structure than it was historically.

25 So when you're facing the building on that

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1 left side, what you're seeing is -- I think it  
2 might be the picture below it. Or not. No.

3 Okay. What you're seeing is the bank of  
4 windows that continues around the corner, and  
5 then there's wall space and just a normal, I  
6 believe, pair of windows.

7 So what the applicant was proposing was  
8 for a porch to wrap both around the right side  
9 of the house and around the left-hand side of  
10 the house, that wrap going literally around  
11 that sun room. So it would go beyond the  
12 historic footprint of the wraparound and also  
13 wrap around a side that it never did  
14 historically.

15 So we didn't feel that we could support  
16 that because it's creating a completely  
17 different feature and one that doesn't really  
18 happen or it's just not a traditional approach  
19 to a wraparound porch that we see in the  
20 historic district.

21 So what we felt we could support was a  
22 porch being added to the front, across the full  
23 front and extending to the end of the sun room  
24 feature. And if they want a wraparound  
25 feature, our recommendation -- this is not a

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9

1 condition but a recommendation -- would be to  
2 reopen that space and kind of reconnect it to  
3 this new portion that's on the front. And that  
4 would get them the wraparound. They would have  
5 to rework the roof potentially, but that would  
6 be the best approach as far as sticking with  
7 what we have historical documentation for.

8 The alteration to the sun room, that space  
9 that currently has the bank of windows,  
10 assuming they don't go forward with that  
11 recommendation that I just made, they are  
12 proposing to remove the bank of windows and to  
13 just go back with window pairs or a single  
14 window in the front and I think a pair on the  
15 side.

16 And we feel that this overall feature as  
17 it exists today has been -- you know, it's lost  
18 its integrity. It doesn't connect to a porch  
19 anymore. It's got an extension on the back.  
20 So just dealing with this alteration on its  
21 own, we felt that those proposed changes were  
22 fine, so we were okay with that part of the  
23 application.

24 And then window replacement. Having gone  
25 out to the field, the vast majority of the

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1 windows on the structure have already been  
2 replaced. There were a handful of windows that  
3 were of a historic nature. They were a variety  
4 of 1-over-1, 2-over-2, so we felt that they met  
5 the qualification for being over 50 percent,  
6 were either previously replaced or missing or  
7 what was there were in pretty bad shape. So  
8 they could probably preserve the ones on the  
9 front, but we didn't feel it was appropriate to  
10 condition it because of the 50 percent  
11 reference in the design regulations that would  
12 allow them to replace all of them.

13 And so, in summary, our conditions are  
14 that the second -- that the new porch shall be  
15 limited to the full width of the front facade,  
16 including the existing sun room, if the roof  
17 can either be successfully integrated into the  
18 existing sun room gable roof or that the sun  
19 room roof be altered to a lower hipped roof  
20 form to tie into the hipped roof of the new  
21 porch.

22 It's probably very wordy, but if you're  
23 following the proposed roof design of the  
24 porch, it would make more sense.

25 That the roof of the new porch shall be

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11

1 shingled to match the house versus the proposed  
2 metal; that the new window pair on the sun room  
3 shall have a traditional mullion between the  
4 units to match other historic window pairs on  
5 the house; that the new siding they'd be  
6 filling in on the sun room shall match the  
7 existing wood siding; and that all the new  
8 windows for the window replacement shall fit  
9 the historic or existing opening, have equal  
10 sash sizes, be recessed into the wall, our  
11 normal condition for window replacement.

12 And the final two conditions are just  
13 related to those minor changes that are pretty  
14 routine for all of our applications.

15 THE CHAIRMAN: All right. Thank you.  
16 Does anybody have questions for staff?

17 COMMISSIONER KASPER: Yes.

18 THE CHAIRMAN: Okay.

19 COMMISSIONER KASPER: So through the  
20 Chair, clarification. When you say the porch  
21 is limited to the width of the house, based on  
22 the elevation that they are sending, that we're  
23 looking at on the screen, does that mean  
24 literally the floor footprint stops at the edge  
25 of the house?

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1 MS. SHEPPARD: Through the Chair, yes,  
2 that it be across the two-story portion, not  
3 wrap on the right side and not wrap on the left  
4 side.

5 COMMISSIONER KASPER: So it's contained --  
6 the roof portion is contained within the body  
7 of the house?

8 MS. SHEPPARD: Yes.

9 COMMISSIONER KASPER: So then, I guess, it  
10 goes back to the -- your wordy condition that  
11 the roof pitch coordinate or match with the old  
12 sun room roof?

13 MS. SHEPPARD: Right. The reason that's  
14 in there is what's currently there on the side  
15 is a gable end, which it wouldn't have had if  
16 it was part of the original porch. So we  
17 believe that gable end was added when they  
18 expanded the footprint on that side with an  
19 addition off of the wraparound.

20 So I believe that the applicant has a --  
21 there was a proposal for a cricket to kind of  
22 connect that. That was part of their plan for  
23 doing the full wraparound. If the Commission  
24 feels that that would be fine as far as a way  
25 to approach it if they wanted to reopen that

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1 feature, then we would certainly take that into  
 2 consideration as well.  
 3 COMMISSIONER KASPER: That's fine. I just  
 4 wanted a clarification.  
 5 And through the Chair, one last question.  
 6 The 10 foot height, is that typical? Is that  
 7 something in the neighborhood? Is that because  
 8 we're supporting a front porch because we think  
 9 it was something contextual?  
 10 Is the 10 foot height, is that a -- it  
 11 appears if it was a little bit lower, it might  
 12 work better with the pitch of the sun room, but  
 13 just a question.  
 14 MS. SHEPPARD: I'm not sure about the  
 15 height. Are you talking about our suggestion  
 16 that the porch be 8 to 10 feet deeper?  
 17 COMMISSIONER KASPER: No, that the top of  
 18 the porch column is dimensioned at 10 feet,  
 19 which then forces the porch roof to get higher  
 20 than the lower gable portion of the sun room.  
 21 MS. SHEPPARD: Do you know what page  
 22 you're looking at in the report?  
 23 COMMISSIONER KASPER: 196 in the PDF.  
 24 It's the front elevation. The top of the  
 25 column says 10 feet, zero. So the question is:  
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1 Is that a typical height of porches in the  
 2 area?  
 3 MS. SHEPPARD: Okay.  
 4 COMMISSIONER KASPER: Maybe we don't know.  
 5 So that -- if that eases the transition to  
 6 the old sun room, that might be a possibility  
 7 to lower that porch.  
 8 MS. SHEPPARD: That makes sense, yes.  
 9 COMMISSIONER KASPER: That's it. I'm  
 10 finished.  
 11 THE CHAIRMAN: Anyone else have questions  
 12 for staff?  
 13 COMMISSION MEMBERS: (No response.)  
 14 THE CHAIRMAN: All right. I'm going to go  
 15 ahead and open the public hearing.  
 16 Is the applicant here?  
 17 AUDIENCE MEMBER: That's me.  
 18 THE CHAIRMAN: You can come on up.  
 19 (Audience member approaches the podium.)  
 20 THE CHAIRMAN: If you will state your name  
 21 and address, and she will swear you in.  
 22 AUDIENCE MEMBER: Nathan Ballentine, 133  
 23 West 3rd Street.  
 24 THE REPORTER: Would you raise your right  
 25 hand for me, please.  
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15

1 MR. BALLENTINE: (Complies.)  
 2 THE REPORTER: Do you affirm that the  
 3 testimony you are about to give will be the  
 4 truth, the whole truth, and nothing but the  
 5 truth?  
 6 MR. BALLENTINE: Absolutely.  
 7 THE REPORTER: Thank you.  
 8 MR. BALLENTINE: Thank you.  
 9 To the Chair, Commission, staff. I'm so  
 10 grateful that no matter what happens, I get a  
 11 front porch because, you know, we bought our  
 12 home across from PorchFest and we don't have a  
 13 porch, so we're looking forward to remedying  
 14 that.  
 15 Another thing that we're excited about is  
 16 that we get to build an 8- to 10-foot depth  
 17 porch because we want a front porch, not a faux  
 18 porch like you see on these modern  
 19 developments. They drive me crazy, and you  
 20 can't sit in a rocking chair and walk by. So  
 21 we're grateful for that.  
 22 Just personally, I grew up on stories of  
 23 front porches. My dad actually grew up in the  
 24 neighborhood on 8th and Silver and had a front  
 25 porch. My wife grew up in Riverside with a  
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16

1 well-used front porch. In college I learned  
 2 about how front porches build community, and so  
 3 I built a front porch on my parents' suburban  
 4 home in Tallahassee. My wife and I lived in  
 5 two houses before moving here, and both of them  
 6 had front porches. And the last one had a  
 7 front porch that wrapped to the east side, and  
 8 we would eat dinner there oftentimes because it  
 9 would be shaded from the afternoon sun. So  
 10 we're front porch people with no porch.  
 11 Historically, as has been stated, we had a  
 12 front porch that wrapped to the west, and it  
 13 was torn down. The front part was torn down.  
 14 That western portion was turned into livable  
 15 indoor space. So to recreate a semblance of  
 16 that original wraparound porch that used to be  
 17 without losing air-conditioned real estate on  
 18 the inside, we would love to wrap to the east  
 19 side.  
 20 And that's our big thing that we are going  
 21 for, is to get that wrapped to the east side,  
 22 because then we can recreate that dinner on the  
 23 front porch where you have kind of different  
 24 levels of publicness. It's not the right way  
 25 to say that, but of course in the very front  
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17

1 you can engage with your neighbors more. When  
2 you're wrapped around the side, you can engage  
3 with your front porch in a slightly more  
4 private but still on the front porch.

5 We love our historic home. It was built  
6 in 1911, and we've been hard at work trying to  
7 restore it, stripping up paint and uplifting  
8 linoleum to reveal historic floors. So we're  
9 just hoping to live in this historic home we've  
10 got.

11 In terms of the nitty-gritty, we're hoping  
12 to tie in -- I have an updated design with a  
13 cricket that she mentioned. I don't know if I  
14 should pass that around to y'all.

15 THE CHAIRMAN: Sure.

16 MR. BALLENTINE: (Tenders documents.)

17 THE CHAIRMAN: Thank you.  
18 (Timer notification.)

19 MR. BALLENTINE: I guess I'm out.

20 THE CHAIRMAN: You can finish up.

21 MR. BALLENTINE: So the extension to the  
22 left or the west actually was our architect's  
23 recommendation in order to space the columns  
24 appropriately so that it's not kind of jagged.

25 Since we are trying to go to that east side,  
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18

1 the extension to the left really wasn't an  
2 attempt to wrap but just to provide a staircase  
3 that went down to the left that went onto our  
4 driveway.

5 And we're -- we're fine if that comes out  
6 or if somehow we're able to redesign it so it  
7 ends at the edge of the sun room. Our main  
8 thing is we want to get to our driveway to the  
9 left, and we want the columns to fit together  
10 so that it's not erratic looking. If you look  
11 real closely, you can see the windows are all  
12 set there on the right side, and so the porch  
13 is going to conceal that, which is going to be  
14 a plus.

15 I think that's it. Thank you so much.

16 THE CHAIRMAN: Anybody have any questions  
17 for the applicant?

18 COMMISSIONER KASPER: So you're obviously  
19 presenting a design that has a little bit of a  
20 wrap, and your reasoning is the west side  
21 extension is for a stair that goes to the rear  
22 and for some proper column spacing, and your  
23 east side wrap is the -- is the desire to have  
24 a dining area?

25 MR. BALLENTINE: Yes, in part that.

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1 COMMISSIONER KASPER: A side porch area?

2 MR. BALLENTINE: Yeah. So the -- to the  
3 west side, the portion that wraps is just an  
4 overhang to roof the stairs going down.

5 COMMISSIONER KASPER: Okay. No more  
6 questions.

7 THE CHAIRMAN: Thank you. We'll call you  
8 back up if we need you.

9 MR. BALLENTINE: Thank you.

10 THE CHAIRMAN: Is there anybody else in  
11 the audience here to speak on this COA?

12 AUDIENCE MEMBER: (Indicating.)

13 THE CHAIRMAN: Come on up.  
14 (Audience member approaches the podium.)

15 THE CHAIRMAN: And if you could state your  
16 name and address.

17 AUDIENCE MEMBER: Andrew Trautmann, 133  
18 West 5th Street, Jacksonville, Florida.

19 THE CHAIRMAN: And she will swear you in  
20 momentarily.

21 THE REPORTER: Would you raise your right  
22 hand for me, please.

23 MR. TRAUTMANN: (Complies.)

24 THE REPORTER: Do you affirm that the  
25 testimony you are about to give will be the

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20

1 truth, the whole truth, and nothing but the  
2 truth?

3 MR. TRAUTMANN: I do.

4 THE REPORTER: Thank you.

5 MR. TRAUTMANN: Yeah. I would like to, as  
6 an aside, stand up and support this. I'm here  
7 on another matter. It just so happens that my  
8 foreman of 14 years was born in that house, and  
9 his parents owned that house since 1921, I  
10 believe, so I've been in it a hundred times.

11 And it did have a porch. Where it's glazed in  
12 now, that was an open porch, and they added  
13 that little hip roof in the back. His parents  
14 did that in the '50s or '60s. But he would be  
15 thrilled. He just passed away three months  
16 ago. He would be totally delighted with this  
17 happening to his house, so I thought I would  
18 pass that along for your consideration.

19 THE CHAIRMAN: Great. Thank you.

20 Is anybody else here to speak on this COA?

21 AUDIENCE MEMBERS: (No response.)

22 THE CHAIRMAN: Seeing none, I'll close the  
23 public hearing and entertain a motion.

24 COMMISSIONER LOPERA: I motion to approve  
25 COA-18-20773 with staff conditions.

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21

1 COMMISSIONER DAVIS: Second.  
 2 THE CHAIRMAN: Let's chat first.  
 3 COMMISSIONER KASPER: Through the Chair,  
 4 have we lost our question opportunity?  
 5 COMMISSIONER LOPERA: This is the  
 6 discussion time.  
 7 THE CHAIRMAN: We need a motion first, so  
 8 now we can talk.  
 9 Questions?  
 10 COMMISSIONER KASPER: Yes. Through the  
 11 Chair to staff, question: Is the wraparound  
 12 porch within the required zoning or setbacks?  
 13 Either side.  
 14 MS. SHEPPARD: That is a good question.  
 15 The setbacks, the side setbacks for  
 16 Springfield, are fairly small. I mean, it's a  
 17 calculation, and we've seen these down to  
 18 2-and-a-half feet, so my guess would be that  
 19 he's probably fine with side setbacks.  
 20 COMMISSIONER KASPER: That's fine.  
 21 MS. SHEPPARD: While we're on the subject  
 22 of setbacks, I will say that on the front,  
 23 while we have historic documentation through  
 24 the Sanborn maps that that depth of the front  
 25 porch would have been a traditional 8 to

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1 10 feet in depth, he's proposing a little  
 2 smaller than that. That's probably based on  
 3 the architect realizing that to do it any  
 4 deeper might throw off the front setbacks as it  
 5 pertains to the rest of the block, which is all  
 6 new construction. So we're not worried about  
 7 that change in front setback because we have  
 8 historic documentation to support it, and  
 9 that's what we would share with the zoning side  
 10 if they questioned that setback.  
 11 COMMISSIONER KASPER: Okay. So through  
 12 the Chair to staff again, to possibly summarize  
 13 your concern about the wraparound porch, is  
 14 that you feel that on the left side or the west  
 15 side, that that was the wraparound porch which  
 16 is based on the Sanborn maps, and if they want  
 17 to, quote-unquote, "wrap" on the left side,  
 18 they should go back and restore that portion  
 19 that has been enclosed?  
 20 MS. SHEPPARD: Yes. That would be our  
 21 concern on that.  
 22 COMMISSIONER KASPER: And then the  
 23 rejection of the porch on the east side is that  
 24 there's not historical data for that to exist?

MS. SHEPPARD: Through the Chair, yes.  
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1 It kind of creates a false sense of the  
 2 history as far as where the porch would have  
 3 been located.  
 4 COMMISSIONER KASPER: So if we look at the  
 5 Sanborn maps that are in the application or  
 6 that staff prepared, it appears that it's  
 7 traditional that there's a front porch and then  
 8 there's a wrap porch, is what I see on the  
 9 Sanborn.  
 10 MS. SHEPPARD: Correct.  
 11 COMMISSIONER KASPER: So if the western  
 12 portion was to terminate with what is now  
 13 somewhat of a solid form of structure, and if  
 14 the eastern or right side was able to wrap,  
 15 although it would not be exactly the way the  
 16 Sanborn was, it would still be similar to what  
 17 has been done in the past, where there's a  
 18 front porch and a side porch.  
 19 So my suggestion would be, or possible --  
 20 you'd have to maybe ask the applicant or his  
 21 architect -- if the left side would be flush  
 22 with the old currently enclosed porch and the  
 23 right side would wrap, if that would be an  
 24 option that the owner would want to pursue and  
 25 if staff would recommend it.

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1 COMMISSIONER BRAMWELL: I've got one thing  
 2 to add there, as far as what would there be.  
 3 Steps down or would we --  
 4 COMMISSIONER KASPER: I think he could  
 5 have plain steps that just go out and that the  
 6 porch wouldn't extend. The porch and the floor  
 7 of the porch would stay at the body or mass of  
 8 the house, and then they can just simply have  
 9 stairs that go out, out the left side or west  
 10 side.  
 11 COMMISSIONER BRAMWELL: Okay.  
 12 THE CHAIRMAN: I think that's a pretty  
 13 good compromise. I'll tell you what, do you  
 14 want to come back up and talk to us for a  
 15 second?  
 16 (Mr. Ballentine approaches the podium.)  
 17 MR. BALLENTINE: Yes, sir.  
 18 THE CHAIRMAN: Tell us how you feel about  
 19 that sort of compromise.  
 20 MR. BALLENTINE: That works. Yeah.  
 21 THE CHAIRMAN: Okay. Any other questions?  
 22 COMMISSION MEMBERS: (No response.)  
 23 THE CHAIRMAN: Okay. Thank you.  
 24 MS. ELLER: Mr. Chair, just because I'm  
 25 new -- and I apologize for not addressing this

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1 at the beginning. My understanding is that for  
 2 each of your COAs, at the conclusion of the  
 3 public hearing, someone will move the item for  
 4 consideration with the staff's comments and  
 5 receive a second, so then it's on the floor for  
 6 discussion?  
 7 THE CHAIRMAN: Correct.  
 8 MS. ELLER: And then as you work through  
 9 these things, individual members may offer an  
 10 amendment to these conditions to offer a  
 11 compromise; am I getting that correctly?  
 12 THE CHAIRMAN: That's correct.  
 13 MS. ELLER: Okay. I apologize for not  
 14 bringing that up earlier, but I just wanted to  
 15 keep it straight for keeping track for the  
 16 motions.  
 17 THE CHAIRMAN: No problem. Yeah.  
 18 MR. POPOLI: Through the Chair, I just had  
 19 one quick question. There was a discussion  
 20 about doing an 8-foot or 10-foot-deep porch. I  
 21 just want to make sure if the wrap is going to  
 22 be there, whether that's going to be 8-feet  
 23 deep as well -- on the east side, I believe?  
 24 COMMISSIONER KASPER: Correct.  
 25 MR. POPOLI: I just wanted to clear that  
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1 up for the applicant so when we get the final  
 2 plans, we know what we're looking at.  
 3 THE CHAIRMAN: Okay. Anybody else have  
 4 comments?  
 5 COMMISSION MEMBERS: (No response.)  
 6 THE CHAIRMAN: Erik, if you want to try to  
 7 put together a motion here.  
 8 COMMISSIONER KASPER: Okay.  
 9 THE CHAIRMAN: Or amendment.  
 10 COMMISSIONER KASPER: I'll make an  
 11 amendment to Andres' motion of approval to  
 12 offer the option of the wraparound porch on the  
 13 east side that would be the same depth as the  
 14 front porch, and then the west porch would stop  
 15 at the western edge of the home, which is the  
 16 old sun porch and that that -- I apologize, if  
 17 I can stop there.  
 18 Through the Chair to staff, can we still  
 19 get you to approve the column layout for the  
 20 front elevation, conditional that the staff  
 21 approves the column spacing?  
 22 MS. SHEPPARD: Through the Chair, that  
 23 would be covered under Condition 6, which  
 24 allows us to deal with the revised plans.  
 25 COMMISSIONER KASPER: Perfect. Then I'll  
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1 leave it at that amendment, which I believe was  
 2 the right porch, easterly porch, and then the  
 3 west one to terminate.  
 4 MS. SHEPPARD: Through the Chair, could I  
 5 just get a clarification on that? Is part of  
 6 your condition that the depth of the side porch  
 7 match the depth of the front porch?  
 8 COMMISSIONER KASPER: That's correct.  
 9 THE CHAIRMAN: And do I have a second?  
 10 COMMISSIONER LOPERA: Second.  
 11 THE CHAIRMAN: All those in favor?  
 12 COMMISSION MEMBERS: Aye.  
 13 THE CHAIRMAN: Those opposed?  
 14 COMMISSION MEMBERS: (No response.)  
 15 THE CHAIRMAN: So that covers ...  
 16 COMMISSIONER KASPER: The amendment.  
 17 THE CHAIRMAN: Yes. That leaves 3 and 4  
 18 in place, correct? Or excuse me.  
 19 COMMISSIONER BRAMWELL: I believe it was  
 20 phrased as an option, so it would be 1A or 1B.  
 21 COMMISSIONER KASPER: That's true.  
 22 THE CHAIRMAN: So on the amendment, I will  
 23 take a vote.  
 24 All those in favor?  
 25 COMMISSION MEMBERS: Aye.  
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1 THE CHAIRMAN: Those opposed?  
 2 COMMISSION MEMBERS: (No response.)  
 3 THE CHAIRMAN: Hearing none, you passed  
 4 COA-18-20773.  
 5 MS. ELLER: As amended.  
 6 THE CHAIRMAN: As amended.  
 7 And we're going to skip College Street and  
 8 come back to that and move on to COA-18-21089,  
 9 1515 Boulevard.  
 10 I'll take a staff report.  
 11 MS. SHEPPARD: Through the Chair, while  
 12 Mr. Popoli is finding the item, I'll start the  
 13 report.  
 14 This is for the demolition of what's  
 15 classified as a contributing structure, which  
 16 we don't normally support. However, in this  
 17 particular case, the structure in question is a  
 18 garage-apartment-type feature. This happens  
 19 every once in a while where if this was at the  
 20 back of somebody's property, we probably would  
 21 consider it noncontributing. But at the time  
 22 of the survey, if it was the only structure on  
 23 the site, then sometimes they get classified as  
 24 a contributing structure.  
 25 But it's, you know, kind of secondary in  
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1 nature, and it's had some alterations to it, as  
 2 you can see in some of these photos that are  
 3 very close-up, but we'll get to one that you  
 4 can actually see the whole thing.  
 5 So between the condition and the  
 6 alterations and its kind of secondary function  
 7 and design, we felt that we could support this  
 8 application.  
 9 THE CHAIRMAN: All right. Any questions  
 10 for staff?  
 11 COMMISSION MEMBERS: (No response.)  
 12 THE CHAIRMAN: Hearing none, is the  
 13 applicant here?  
 14 (Audience member approaches the podium.)  
 15 THE CHAIRMAN: I'll open the public  
 16 hearing.  
 17 If you would state your name and address,  
 18 and she will swear you in.  
 19 AUDIENCE MEMBER: Peter King, 404 West  
 20 70th Street, Jacksonville, Florida.  
 21 THE REPORTER: Would you raise your right  
 22 hand for me, please.  
 23 MR. KING: (Complies.)  
 24 THE REPORTER: Do you affirm that the  
 25 testimony you are about to give will be the  
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1 truth, the whole truth, and nothing but the  
 2 truth?  
 3 MR. KING: I do.  
 4 THE REPORTER: Thank you.  
 5 MR. KING: Real briefly, I represent  
 6 Michael. Michael is here. I wasn't planning  
 7 on him being here, but he is here. We support  
 8 staff's recommendation, and we will be  
 9 available for any questions the Commission may  
 10 have.  
 11 THE CHAIRMAN: Thank you.  
 12 Is there anybody else here to speak on  
 13 this COA?  
 14 AUDIENCE MEMBERS: (No response.)  
 15 THE CHAIRMAN: Seeing none, we'll close  
 16 the public hearing, and I'll entertain a  
 17 motion.  
 18 COMMISSIONER DAVIS: Motion to approve  
 19 COA-18-21089 for demolition.  
 20 COMMISSIONER BRAMWELL: Second.  
 21 THE CHAIRMAN: All right. Does anybody  
 22 have any objections here?  
 23 COMMISSIONER DAVIS: No objection.  
 24 COMMISSIONER KASPER: No.  
 25 THE CHAIRMAN: Then I'm going to take a  
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1 vote.  
 2 All those in favor?  
 3 COMMISSION MEMBERS: Aye.  
 4 THE CHAIRMAN: Those opposed?  
 5 COMMISSION MEMBERS: (No response.)  
 6 THE CHAIRMAN: Hearing none, you passed  
 7 COA-18-21089, 1515 Boulevard.  
 8 And we'll move right along to  
 9 COA-18-21096, 1810 Dancy Street.  
 10 Do we have a staff report?  
 11 MS. SHEPPARD: Just a second.  
 12 Okay. This application is -- has three  
 13 parts to it, the first part being an  
 14 improvement to the right-of-way area to provide  
 15 some parking, the second being the removal of a  
 16 concrete pad that is currently covering over  
 17 what would have been traditionally the front  
 18 yard. The third is related to an actual  
 19 alteration to the main structure, which is a  
 20 noncontributing structure, just for the record.  
 21 So there's -- it's a quadruplex, so it's  
 22 got doors on the bottom and doors at the top.  
 23 And you see this little recess that's created  
 24 by the walkway for the upstairs? The  
 25 alteration would be to kind of fill that space,  
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1 to enclose that space basically for interior,  
 2 and that addresses some runoff issues that the  
 3 applicant is currently having.  
 4 Our recommendation was to approve in part  
 5 and deny in part, or approve with conditions  
 6 rather, for the enclosure and for the removal  
 7 of that cement slab, which we were completely  
 8 fine with.  
 9 The condition related to the enclosure was  
 10 that -- the applicant provided three options  
 11 for how that would be designed, and we are  
 12 conditioning that they go with the plain stucco  
 13 exterior versus one that had some timbering  
 14 detail that was a little more Tudor inspired  
 15 and one that had horizontal siding. So stick  
 16 with stucco to match the existing. And that  
 17 the windows and doors have exterior raised  
 18 profile muntins. I believe that's actually  
 19 what he was proposing, but just to make sure  
 20 that happens, that's also in there. And then  
 21 our normal conditions as it relates to minor  
 22 changes and reviewing the plans.  
 23 When it comes to the improvement at the  
 24 right-of-way, this was kind of a complicated  
 25 request application for us because the design  
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1 regulations talk about how these right-of-way  
 2 areas were historically greenspaces, basically  
 3 that the front yard as written is bisected by  
 4 the sidewalk, and both sides of the sidewalk  
 5 would be a greenspace, grassed or landscaped.  
 6 When it comes to residential structures,  
 7 we've been very consistent from a staff  
 8 standpoint recommending that those stay green  
 9 areas. Now, that's easier to do if there's a  
 10 curb. In this case, there is no curb, so  
 11 people have been parking in that area at least  
 12 back to 2007, based on the Google photos.  
 13 Now, this building or this site does have  
 14 a parking structure at the back of the property  
 15 and a paved area at the back of it that, from  
 16 our perspective, could accommodate parking for  
 17 the residents. That's not optimal according to  
 18 the applicant. He says that, I guess, there's  
 19 no doors on the rear of the property. The  
 20 entry would be on the front, and so they are  
 21 having to walk around, but nonetheless that's  
 22 where our design regulations say parking should  
 23 occur, is at the rear of the structure, at the  
 24 rear of the site.  
 25 All that said, this is immediately  
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1 adjacent to The Shoppes of Avondale. This is  
 2 at Dancy and St. Johns. So if you're familiar  
 3 with the cupcake place on the corner, I guess,  
 4 Monty's is a bar establishment across the  
 5 street, and then there's some shops at the  
 6 other corner. You can tell from the aerial  
 7 that there is right-of-way parking pretty much  
 8 all around him, and regardless of where he has  
 9 his tenants park, somebody is probably going to  
 10 park in that right-of-way area, as they have  
 11 been doing that for quite a while.  
 12 This is a little different than other  
 13 applications that we have recommended on and  
 14 that the Commission has heard. Even though  
 15 this is a residential building, it is  
 16 commercially zoned and it's noncontributing.  
 17 So, you know, I suppose some changes could  
 18 happen there at some point, but that's not his  
 19 intent. It's residentially used today, but it  
 20 does have those kind of unique qualities to  
 21 this property and their situation.  
 22 So our recommendation is based on our read  
 23 of the design regulations and staying  
 24 consistent with how we've approached this type  
 25 of request in the past, but I just want to  
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1 bring those to your attention.  
 2 I know the applicant is here to speak as  
 3 well.  
 4 We've had -- something else that's  
 5 mentioned in the report is that he has tried  
 6 other things to kind of improve the appearance  
 7 of that right-of-way, including some planters  
 8 which people ran into and broke, and he has  
 9 investigated the concept of getting it curbed,  
 10 which I think the adjacent property owner is  
 11 also interested in, to keep people from parking  
 12 along that street, but that is more complicated  
 13 than the applicant or for a homeowner to do  
 14 something. I mean, that requires the City to  
 15 look at drainage issues and that type of thing.  
 16 So they were not under the impression that that  
 17 was going to be something that was going to  
 18 happen any time in the near foreseeable future.  
 19 No funding for it.  
 20 THE CHAIRMAN: All right. Thank you.  
 21 Does anybody have questions for staff?  
 22 COMMISSIONER LOPERA: I do. You first.  
 23 COMMISSIONER KASPER: Through the Chair,  
 24 I'm confused. I'm not sure what they are  
 25 asking for in the right-of-way.  
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1 THE CHAIRMAN: I was confused too.  
 2 MS. SHEPPARD: There should be -- there  
 3 should be a site plan that shows basically  
 4 keeping a strip of greenspace to the  
 5 right-of-way side of the sidewalk and the  
 6 introduction of two parallel spots in the  
 7 right-of-way area.  
 8 COMMISSIONER KASPER: What's this picture?  
 9 Is it the one with the cars on it?  
 10 COMMISSIONER BRAMWELL: I think it's older  
 11 because there's a fence out front.  
 12 COMMISSIONER KASPER: Is that just gravel  
 13 or dirt?  
 14 THE CHAIRMAN: Yeah. I'm pretty sure it's  
 15 dirt.  
 16 MS. SHEPPARD: The current conditions  
 17 are -- it's a dirt area that has a planter  
 18 that's currently located in the right-of-way.  
 19 COMMISSIONER KASPER: So, again, through  
 20 the Chair, what are they asking to do? Are  
 21 they asking to put this 1- to 3-foot landscape  
 22 panel and then have two parallel spaces in  
 23 front?  
 24 MS. SHEPPARD: We would be approving the  
 25 drawing, the proposed drawing, that shows that  
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1 space being reworked with a brick paver.  
 2 COMMISSIONER KASPER: Where is the brick  
 3 paver in this drawing?  
 4 MS. SHEPPARD: It's --  
 5 COMMISSIONER DAVIS: In the parallel  
 6 spaces.  
 7 COMMISSIONER KASPER: In the parallel  
 8 spaces. Okay.  
 9 MS. SHEPPARD: Yes. Thank you.  
 10 COMMISSIONER KASPER: And then where are  
 11 the sidewalks to the front doors of the new  
 12 enclosure?  
 13 MS. SHEPPARD: Those are not shown on the  
 14 plan.  
 15 COMMISSIONER BRAMWELL: Did you say to the  
 16 front doors?  
 17 COMMISSIONER KASPER: Well, that's being  
 18 enclosed in the front, which I'm assuming was  
 19 front doors, but we can ask the applicant.  
 20 COMMISSIONER BRAMWELL: There's  
 21 4-foot-wide fencing on both sides.  
 22 THE CHAIRMAN: Yeah, but it doesn't happen  
 23 to the middle where there seems to be doors,  
 24 though.  
 25 COMMISSIONER KASPER: We can ask the  
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1 applicant.  
 2 THE CHAIRMAN: Okay.  
 3 COMMISSIONER KASPER: So staff is  
 4 suggesting approval of this sketch or --  
 5 MS. SHEPPARD: Our recommendation is  
 6 approve in part -- approve with conditions in  
 7 part for the enclosure and the removal of the  
 8 concrete pad that's in the front yard and deny  
 9 in part for the changes to the right-of-way  
 10 area.  
 11 COMMISSIONER KASPER: Got it. Thank you.  
 12 THE CHAIRMAN: Okay.  
 13 COMMISSIONER LOPERA: I have a question  
 14 for staff. You mentioned that they were having  
 15 drainage issues.  
 16 MS. SHEPPARD: Yes. And the applicant  
 17 would speak better to that, but there were  
 18 pictures provided. The current flap walkway  
 19 that's above, the water kind of goes around it  
 20 and into that recessed area, which has caused  
 21 some pooling and rot at the bottom of the doors  
 22 as I understand it.  
 23 COMMISSIONER LOPERA: Right. And what  
 24 we're suggesting with your staff approval is to  
 25 put a door there and a window there, so I'm  
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1 likely going to suggest maybe adding some sort  
 2 of roof structure also may have the same issue.  
 3 MS. SHEPPARD: Good point.  
 4 Through the Chair, the drawing reflects a  
 5 slight recess for that enclosure, and the  
 6 intent of the applicant, as I understand it, is  
 7 to go back with some type of awning that would  
 8 provide a little bit of cover in that area.  
 9 And awnings are something we can do  
 10 administratively, so it wasn't part of this  
 11 application, but my understanding is that he  
 12 kept that recess so he could tuck in the awning  
 13 for it to come out, so the water would shed  
 14 from the walkway above to the awning.  
 15 COMMISSIONER LOPERA: Right. That's my  
 16 only concern.  
 17 Thank you.  
 18 THE CHAIRMAN: All right. Does anybody  
 19 else have questions for staff?  
 20 COMMISSION MEMBERS: (No response.)  
 21 THE CHAIRMAN: All right. Open the public  
 22 hearing.  
 23 Is the applicant here?  
 24 AUDIENCE MEMBER: (Indicating.)  
 25 THE CHAIRMAN: Come on up.  
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1 (Audience member approaches the podium.)  
 2 THE CHAIRMAN: If you'll state your name  
 3 and address, and she will swear you in.  
 4 AUDIENCE MEMBER: Adrian Gregory, 1810  
 5 Dancy Street, Jacksonville, Florida 32205.  
 6 THE REPORTER: Would you raise your right  
 7 hand for me, please.  
 8 MR. GREGORY: (Complies.)  
 9 HE REPORTER: Do you affirm that the  
 10 testimony you are about to give will be the  
 11 truth, the whole truth, and nothing but the  
 12 truth?  
 13 MR. GREGORY: Yes.  
 14 THE REPORTER: Thank you.  
 15 THE CHAIRMAN: How are you?  
 16 MR. GREGORY: Oh, good.  
 17 Yeah, that's why the recess, was hopefully  
 18 to put the awning so the water would shed off  
 19 of that because it's like this now and it drips  
 20 up under, and all that stucco keeps falling.  
 21 And it also kind of seeps into the door frame,  
 22 which has caused swelling, especially during  
 23 hurricanes. And the doors really jammed up so  
 24 you couldn't get them open, and when you did  
 25 get them open, you couldn't get them closed  
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1 again. So for the tenants living there, it was  
2 kind of a security concern.

3 Also, it's a very highly intensive  
4 commercial area, constant beer truck  
5 deliveries, constant people coming through the  
6 Monty's drive-thru, playing these extremely  
7 loud car sound systems, so that wall would also  
8 kind of help diminish that sound by creating  
9 another barrier.

10 And I forget what the other -- oh, as far  
11 as the walkway, yeah, there's obviously going  
12 to be -- needs to be some kind of access to  
13 those lower levels.

14 This, thankfully, was provided by RAP,  
15 this drawing, and they did that for me pro  
16 bono, which I was very thankful for. I didn't  
17 want to go back and make them do that over  
18 again just for that little thing. I figured  
19 that would kind of be obvious.

20 So the drawing for the right-of-way, for  
21 the parallel parking, there's lots of examples  
22 of parking in the row along Dancy Street  
23 adjacent to me.

24 Like was mentioned, it's a commercial  
25 area. I'd say it's as commercial or more than  
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1 anything else along St. Johns as far as the  
2 amount of usage. There's also parking in the  
3 right-of-way further up Dancy at South Kitchen.  
4 That one is parallel. We're hoping to go with  
5 parallel because it's kind of a bottleneck  
6 through there. They're using it as angled  
7 parking now, but the right-of-way isn't  
8 actually wide enough for angled parking, so  
9 this would be a step in that direction,  
10 hopefully to start changing the neighborhood so  
11 it's more functional.

12 I think one thing that is key to know is,  
13 whether or not this is approved, people are  
14 going to park there. They're not going to  
15 stop. They have always been parking there,  
16 people that go to the bar, in the right-of-way.  
17 And, I mean, that's -- I think the picture  
18 somebody mentioned was around -- I don't know  
19 when it was from, but they have been parking  
20 there, I can attest, personally, since like '85  
21 when I started going there, so it's not going  
22 to change. And I'm really just trying to  
23 beautify it and --

24 (Timer notification.)  
25 MR. GREGORY: Was that my -- was that for  
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1 me to stop talking?

2 THE CHAIRMAN: You can finish up if you  
3 have anything else.

4 MR. GREGORY: I've had -- it's kind of --  
5 the whole issue over there, it's a bigger issue  
6 too, and I've had meetings with Jim Love and  
7 Bill Joyce. They came out, and they were  
8 talking about -- I tried to plant there in the  
9 past, and these monster trucks just drove over  
10 it. I built these planters, and they wrecked  
11 one of those planters just running into it.  
12 It's either guys in these big beer delivery  
13 trucks or -- I'm not really sure, but I -- and  
14 as was mentioned, there aren't any actual back  
15 doors, so even if it's going to be in cases  
16 where my tenants park there or some cases other  
17 people, they're going to park there. They just  
18 want to park there, and it's -- it's  
19 unstoppable.

20 THE CHAIRMAN: Okay.

21 MR. GREGORY: What else can I tell you  
22 about it?

23 COMMISSIONER DAVIS: Was it paved before?  
24 The pictures are a little confusing because in  
25 the one picture from 7, you've got the white  
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1 fence.

2 MR. GREGORY: I believe it's hard to say  
3 because it's covered with dirt. It's very  
4 weedy right now because it's been so rainy, but  
5 it's covered with dirt essentially, and it's a  
6 good layer of dirt. I believe since the one  
7 right to the right of it is also paved, it was  
8 also paved, the one right in front of mine was  
9 also paved, that part of the right-of-way, but  
10 they kind of -- I think they just neglected it  
11 and stopped paving it.

12 When I say I think it was paved, I think  
13 maybe in the '70s it might have been paved.  
14 The one section of the road just to the right  
15 of me which is still pretty much paved, you can  
16 tell that -- not within the last ten years, but  
17 it's been repaved at some point, you know, not  
18 more than 20 years ago. And the -- so, yes, I  
19 think so, but I don't know for sure.

20 THE CHAIRMAN: Okay. Well, thank you.

21 MR. GREGORY: Yeah.

22 THE CHAIRMAN: We'll call you back up if  
23 we have questions.

24 MR. GREGORY: Okay.

25 THE CHAIRMAN: Is there anybody else here  
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1 to speak on this COA?  
 2 AUDIENCE MEMBER: (Indicating.)  
 3 Come on up.  
 4 (Audience member approaches the podium.)  
 5 AUDIENCE MEMBER: Nancy Powell, 1848  
 6 Challen Avenue, Jacksonville 32205.  
 7 THE REPORTER: Would you raise your right  
 8 hand for me, please.  
 9 MS. POWELL: (Complies.)  
 10 THE REPORTER: Do you affirm that the  
 11 testimony you are about to give will be the  
 12 truth, the whole truth, and nothing but the  
 13 truth?  
 14 MS. POWELL: I do.  
 15 THE REPORTER: Thank you.  
 16 MS. POWELL: Thank you.  
 17 I'm here on behalf of Riverside Avondale  
 18 Preservation, and this particular intersection  
 19 at Dancy and St. Johns Avenue is one of the  
 20 several intersections that RAP has been  
 21 actually working on over the past six months,  
 22 or years actually, as far as safety concerns  
 23 and some other things, and Adrian called us  
 24 kind of as we were looking at some of those.  
 25 And so this kind of dovetailed into that, and  
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1 we've spent some time on it.  
 2 We wouldn't normally support taking away a  
 3 right-of-way to put parking, but this is a very  
 4 unique situation. You can see from that  
 5 parking that the angled parking actually is  
 6 really quite a dangerous thing. What we're  
 7 dealing with on the other side of the street  
 8 with Monty's is that people are parking angled  
 9 going the wrong way, so they are going against  
 10 the traffic parking, and then they're parking  
 11 on this side of the street also.  
 12 Next door to Adrian's property towards  
 13 Pine Street is a green right-of-way. It has no  
 14 curb, and people park on their greenspace, so  
 15 it's a continuing problem.  
 16 Our position is the concrete in front of  
 17 his house is -- sorry, Adrian, it's really  
 18 ugly, so to take that out is really going to  
 19 help that property, and our goal at this point  
 20 is to make that space look good.  
 21 And people are going to park there anyway  
 22 if he paves it, and parallel parking is  
 23 probably more -- it allows for -- the road is  
 24 not that wide, so people should not be angled  
 25 parking there. And so two parallel spaces, it  
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1 still is public right-of-way. Anybody can park  
 2 there, but it will allow for landscaping on  
 3 either side.  
 4 We're doing a tree initiative. In fact,  
 5 that's why he called. He wanted to do some  
 6 trees. So we feel this is something we should  
 7 make an exception for in this case, primarily  
 8 because of the commercial environment that he  
 9 is right across from.  
 10 The drive-thru comes right out really  
 11 right here across the street from his, and the  
 12 two other right-of-ways are really not very  
 13 well-maintained either, the one in front of  
 14 Monty's or the one on the side of the gift  
 15 shop.  
 16 So the issue of the curbing, you know,  
 17 that was like a year ago. They were trying to  
 18 do that. And once they start curbing along  
 19 Pine Street, then they start talking about  
 20 drainage and putting in stormwater. And that's  
 21 further down, and then it just becomes like you  
 22 can't do it. So this is a compromise, and we  
 23 feel like it's a good one.  
 24 THE CHAIRMAN: Thank you.  
 25 Is anybody else here to speak on this COA?  
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1 AUDIENCE MEMBERS: (No response.)  
 2 THE CHAIRMAN: Seeing none, we'll close  
 3 the public hearing, and I'll entertain a  
 4 motion.  
 5 COMMISSIONER KASPER: I make a motion to  
 6 approve COA-18-21096 with staff conditions --  
 7 wait. Hold on. I apologize. Why does it say  
 8 deny on my sheet?  
 9 COMMISSIONER BRAMWELL: It's deny in part  
 10 and approve in part.  
 11 MR. POPOLI: I believe there's a mistake  
 12 on the agenda.  
 13 COMMISSIONER KASPER: Okay. Thank you.  
 14 Then approve with conditions is my motion.  
 15 COMMISSIONER LOPERA: I second.  
 16 THE CHAIRMAN: All right. Motion is on  
 17 the floor.  
 18 COMMISSIONER KASPER: Through the staff or  
 19 maybe through counsel, the right-of-way deals  
 20 with parking, parking space depths, proper  
 21 turning, proper parking spaces, safety, flow of  
 22 traffic, all items that I think are outside of  
 23 the scope of the Historic Preservation  
 24 Commission, and I personally don't want to be  
 25 recommending or denying proper parking spaces  
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1 and such, so it seems like that is something  
2 that should be by some other department. I  
3 don't know who that is.

4 MR. POPOLI: Through the Chair, you're  
5 right. There are other aspects of this  
6 approval that will go through engineering and  
7 right-of-way permitting. You're really making  
8 a determination on whether or not you think the  
9 parking itself is appropriate in front of the  
10 structure because that is something that's  
11 addressed in the design guidelines. You're  
12 also looking at potentially the paver that he's  
13 proposing, the size and shape of the paver, but  
14 you're not necessarily going to be the final  
15 authority on the size, the width, the depth,  
16 how it's constructed.

17 COMMISSIONER KASPER: Okay.

18 MS. ELLER: Mr. Chair, if it gives you  
19 more comfort, we can include the disclaimer  
20 that to the extent the Historic Preservation  
21 Commission can approve it, it would be an  
22 approval and explaining that other departments  
23 within the City -- that it's subject to all  
24 other permitting, et cetera, along those lines.

25 THE CHAIRMAN: That's perfect.

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1 So the stucco design, as long as the  
2 applicant is okay with that and staff's okay  
3 with that, I'm okay with it.

4 It seems parallel parking makes the most  
5 sense because it sounds like people park there  
6 regardless. Even if you landscape it, people  
7 will park there. I don't know if anybody else  
8 has thoughts, but that to me makes the most  
9 sense.

10 COMMISSIONER KASPER: I agree. And I  
11 think that would go to the thing of what is  
12 safe, what is proper parking clearances. And  
13 it appears that parallel is more safe, but we  
14 should have engineers confirm that. So I would  
15 agree with the Chair that parallel parking  
16 appears to be the best method, so maybe the  
17 next question is, is it a brick paver? Are  
18 there other pavers on this street? Are we  
19 setting a precedent for now all parking that's  
20 in right-of-way needs to have a paver?

21 THE CHAIRMAN: That would be a question  
22 for staff, I would think.

23 MS. SHEPPARD: We didn't address the  
24 materials on this because we were recommending  
25 a denial in general. But when it comes to

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1 driveways, a brick paver is one of the approved  
2 forms from a historic precedent. A lot of the  
3 streets were brick to begin with, so the only  
4 thing that we would probably ask for you to  
5 consider adding is that we would normally  
6 condition that paver be a rectangular form and  
7 a consistent rectangular form, not like some of  
8 the pavers available now that come in three  
9 different shapes and stuff. It's based on a  
10 historic brick form, so usually our language is  
11 4-by-8 up to a 6-by-9, I believe, brick-style  
12 paver in a traditional color.

13 THE CHAIRMAN: Okay.

14 COMMISSIONER DAVIS: There's a page in  
15 there.

16 THE CHAIRMAN: Yeah.

17 MS. SHEPPARD: I believe that the visual  
18 that the applicant provided was not a  
19 consistent size, and that's why I would ask  
20 that to be consistent with how we normally  
21 process these things, and the basis for  
22 allowing the paver in the first place is the  
23 brick streets.

24 THE CHAIRMAN: Does anybody else have  
25 anything to add?

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1 COMMISSIONER LOPERA: Well, just my two  
2 bits. On the roof, some sort of roof over the  
3 front doors, and then as far as the parallel  
4 parking goes, yeah, it's -- you know, I agree.  
5 I think this commission has approved parking in  
6 front of a structure with pavers in that area,  
7 and I believe the applicant has provided new  
8 greenspace instead of the concrete, so I  
9 believe that would help the parking in the  
10 area. Plus, it still remains public parking,  
11 so it's not dedicated for those residents. So  
12 I think as far as safety goes, it seems to be a  
13 good compromise.

14 THE CHAIRMAN: All right.

15 COMMISSIONER KASPER: Through the Chair, I  
16 would just add that the access to the front  
17 units, if you look at the picture, appears to  
18 be kind of a Y-shaped sidewalk that begins as a  
19 single sidewalk at the right-of-way and then  
20 forks off two ways. That seems to be an  
21 appropriate solution as to reduce the amount of  
22 concrete and provide a -- maybe it's even  
23 curving. I'm not sure. So I would recommend  
24 that this center access be the way it was in  
25 this picture, which is on page -- I don't know.

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1 COMMISSIONER BRAMWELL: 411.  
2 COMMISSIONER KASPER: It's on the page of  
3 the front elevation.

4 And through the Chair to staff, this is a  
5 noncontributing structure, so do we really have  
6 jurisdiction to tell him whether he can enclose  
7 that front thing or not?

8 MS. SHEPPARD: Through the Chair, we  
9 review alterations to noncontributing  
10 structures. I guess you can think of it as you  
11 can always make something worse. And the only  
12 thing that the ordinance code states as far as  
13 separating them would be if they wanted to  
14 demolish it. That would not go to you.

15 COMMISSIONER KASPER: Okay. So as long as  
16 we are not making it worse, we kind of go along  
17 with it?

18 MS. SHEPPARD: In our review, if there was  
19 something being proposed that might, I don't  
20 know, affect the setback or drastically change  
21 the style to something that would not be  
22 appropriate, then those are all things we would  
23 still have jurisdiction over because you might  
24 not approve the resulting design under new  
25 construction. Why would you approve the

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1 alterations to make a design that you wouldn't  
2 approve otherwise?

3 COMMISSIONER KASPER: Okay. Thank you.

4 COMMISSIONER LOPERA: One more quick  
5 question. Right here it's written that the  
6 recommendation is to deny in part for the  
7 right-of-way parking. So that's not anything  
8 that we're voting on, right?

9 MS. ELLER: My understanding is that the  
10 motion made to begin with to begin discussion  
11 was to approve in its entirety, including the  
12 right-of-way request, with the conditions that  
13 were originally placed in the staff report for  
14 the items that were approved in part for  
15 conditions.

16 And then what I've heard so far that would  
17 require someone to move an amendment would be  
18 three items. First, what I mentioned, which  
19 would be that the right-of-way be subject to  
20 all other permitting and that your approval is  
21 limited to your jurisdiction as HPC. Second,  
22 that the brick pavers shall be a consistent  
23 paver, rectangular in shape, that is consistent  
24 with the previous roads and a traditional  
25 color. And then the third is that the sidewalk

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1 from the right-of-way shall be consistent with  
2 the Y-sidewalk that's depicted already in the  
3 report.

4 COMMISSIONER LOPERA: Thank you.

5 THE CHAIRMAN: So I'm going to need an  
6 amendment if everyone is good with this, the  
7 three amendments she just discussed.

8 COMMISSIONER KASPER: So that's really  
9 saying that we would approve the right-of-way  
10 based on these conditions, versus staff who's  
11 denying?

12 THE CHAIRMAN: Correct.

13 COMMISSIONER KASPER: So I'll make an  
14 amendment to approve the right-of-way -- do I  
15 need to repeat your conditions?

16 MS. ELLER: I think they are sufficient in  
17 the record.

18 COMMISSIONER KASPER: Based on counsel's  
19 conditions.

20 COMMISSIONER LOPERA: Second.

21 THE CHAIRMAN: All those in favor?

22 COMMISSION MEMBERS: Aye.

23 THE CHAIRMAN: Those opposed?

24 COMMISSION MEMBERS: (No response.)

25 THE CHAIRMAN: Hearing none, I'll take a  
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1 vote on the amended motion.

2 All those in favor?

3 COMMISSION MEMBERS: Aye.

4 THE CHAIRMAN: Those opposed?

5 COMMISSION MEMBERS: (No response.)

6 THE CHAIRMAN: Hearing none, you passed  
7 COA-18-21069.

8 COMMISSIONER KASPER: -96.

9 THE CHAIRMAN: Or -96, excuse me.

10 And we will move right along.  
11 COA-18-21064, 2900 College Street, do we have a  
12 staff report?

13 MR. POPOLI: Through the Chair, yes, we  
14 do.

15 THE CHAIRMAN: Oh, hang on, Christian.  
16 Does anyone have any ex-parte to declare?

17 COMMISSIONER LOPERA: Yes. I met with --  
18 I forgot your name. Alex, Alex Sifakis, that's  
19 right. I met with him yesterday at my office,  
20 and we discussed the general project and my  
21 thoughts on the different elevations and, you  
22 know, the possible issues that may come up, and  
23 that's about it.

24 COMMISSIONER DAVIS: I met with Alex a  
25 month ago and discussed the project.

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1 THE CHAIRMAN: All right. Thank you.  
 2 And now for the staff report.  
 3 MR. POPOLI: All right. This is  
 4 COA-18-21064. The property has the address of  
 5 2900 College Street. It's actually two  
 6 separate parcels. The 2900 is a very small  
 7 portion of the larger two parcels. Generally,  
 8 I'm going to describe what the proposal is and  
 9 what staff is trying to accomplish with this  
 10 application, and then I'll go through the  
 11 details.

12 This is a proposal for a new small pocket  
 13 subdivision, basically. The property is the  
 14 north half of an entire block. It's along  
 15 College Street between Rubel Street and Willow  
 16 Branch, and it faces an industrial property  
 17 that stores crushed concrete. It's close to  
 18 the interstate there.

19 It's an interesting mix of uses and  
 20 zonings. The property currently has a PUD  
 21 zoning category for a mixed-use multifamily  
 22 project that was never constructed.

23 The applicant's proposal is a unique  
 24 design to the district, and they are also  
 25 trying to do a PUD zoning to allow them to  
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1 or conditioned the approval of those designs,  
 2 the applicant would come in with an approved  
 3 design on a specific lot where they want to  
 4 place that, and staff would have the option to  
 5 then approve that administratively, because, in  
 6 effect, you have approved the design. We're  
 7 just approving the details and its location and  
 8 then verifying that it meets the conditions  
 9 that you set on that particular piece of  
 10 property.

11 This would allow the applicant to presell  
 12 the design, come to us for the approval, and  
 13 there wouldn't be any substantial changes  
 14 because you have approved the designs. And  
 15 then it would also give us, as the City,  
 16 assurances that we know what those designs are  
 17 going to be because your approval will then be  
 18 incorporated into the PUD as architectural  
 19 guidelines.

20 So the entirety of what can be approved on  
 21 the project will be incorporated into the  
 22 zoning, and any changes they want to make to  
 23 that would require a rezoning of the property  
 24 or at least a modification of that zoning,  
 25 which we would either go through staff,  
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1 address the setbacks and lot sizes that would  
 2 otherwise be in conflict with the traditional  
 3 zoning and also address some of the issues  
 4 related to the overlay.

5 Because it's going to be a PUD, we run  
 6 into the issue with the Green Street project,  
 7 where you have, I believe, 15 or 16 individual  
 8 lots, and each house, each design, has come in  
 9 as an individual COA. The complication for the  
 10 developer is that when they go to sell that  
 11 property, they come to you, we may, as staff,  
 12 put conditions on the design, you approve them,  
 13 they have to then go back with those  
 14 conditions, redesign the property, and get the  
 15 buyer to agree to them. It also makes a great  
 16 deal of work for you guys if we have eight or  
 17 ten of these designs that come before you, and  
 18 like the last time, we have to lay them out and  
 19 look at them.

20 Here what we're trying to do is approve or  
 21 bring to you guys for approval the design of  
 22 the project in its entirety and then each of  
 23 the proposed designs for the houses that they  
 24 are going to have as models to offer the  
 25 buyers. Once you have approved or not approved  
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1 Planning Commission or potentially the full  
 2 City Council.

3 So you will have a great deal of assurance  
 4 that what you approve is what will be there.  
 5 Even if the project changes hands, even if it  
 6 stops for a period of time and comes back, that  
 7 would be what's approved there.

8 So with that in mind, the applicant has  
 9 brought together an overall concept and then a  
 10 series of designs for the structures.

11 We have met with the applicant a number of  
 12 times. They have met with RAP a number of  
 13 times. So you may know there was an addendum I  
 14 sent out at the beginning of the week that  
 15 included some newer renderings. Those were  
 16 based on conversations they had with staff and  
 17 some of the conditions we proposed, and I'll go  
 18 through the designs.

19 First, I want to go through the project  
 20 and explain the concept and our conditions of  
 21 the project, and then we'll get into the houses  
 22 themselves.

23 So again, this is the location  
 24 (indicating). You have Roosevelt Boulevard  
 25 here, railroad tracks. This is that industrial  
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1 facility. There's a commercial nightclub here  
2 and then residences along the back,  
3 single-family. There's a multifamily complex  
4 here and then more single-family here. It's a  
5 very mixed bag of uses in the area.

6 Currently, it has a PUD zoning and a  
7 commercial land use. The commercial land use  
8 requires a mix of uses, so the original PUD had  
9 this office and residential component. Part of  
10 what will move forward after this stage will be  
11 a rezoning and an amendment to the land use, so  
12 there's a few more months of policy work that's  
13 going to go into this. Again, the current  
14 zoning is PUD.

15 This is the previously approved project  
16 (indicating). It had two multifamily mixed use  
17 buildings. You will notice this line here.  
18 The original right-of-way for this property,  
19 for this odd intersection here, actually  
20 included this portion as road, or at least a  
21 public right-of-way.

22 The applicant has purchased this back from  
23 the City, but that will be important in one of  
24 the designs on the project in itself.

25 Again, this is what was previously  
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1 approved, 24 residential units with offices  
2 (indicating).

3 This is the current proposed layout for  
4 the project (indicating). The concept is a  
5 20-lot subdivision with an interior courtyard.  
6 That right-of-way issue I mentioned is -- the  
7 result is this small park on the corner, which  
8 addresses some of the visibility issues of this  
9 very odd intersection, so that's why you kind  
10 of have this vacant lot here. That's park  
11 space.

12 Because of both the nature of the project  
13 and the nature of the historic district, the  
14 houses have very different designs on the front  
15 and back. The ones to the rear are going to  
16 access off of the improved alley that the  
17 applicant will construct. They will have  
18 attached garages that will be entered into off  
19 the alley, and then the house itself will  
20 technically front on the courtyard.

21 The properties on the front, front lots,  
22 so to speak, have frontage on the courtyard,  
23 but then, because of the historic nature of the  
24 district, will have frontage on College Street  
25 as well, so the house will basically have two

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1 fronts.

2 This is in an attempt to engage the  
3 street, as a house would traditionally, even  
4 though the majority of the public space from  
5 the subdivision's standpoint would be the  
6 interior. So what you're going to see is there  
7 are proposed designs that reflect these front  
8 lots and then proposed designs for the rear,  
9 and it will make some sense when you see them.

10 This is just an example of sort of the  
11 College Street layout of what the houses  
12 potentially could look like (indicating).

13 One of the things we're going to discuss  
14 is -- we have a condition related to how the  
15 houses are laid out on the lots with regards to  
16 replicating designs. So this is obviously just  
17 an idea. We're not sure which houses are going  
18 to go where. And then again, some examples of  
19 what the street frontage would look like for  
20 these designs. And then those rear frontages  
21 that face the park on the front lots would also  
22 have fronts to them.

23 And then to the rear, you would have these  
24 slightly wider fronts to the houses that are on  
25 the park and then to the rear the alley

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1 entrance garage and a rear elevation, so to  
2 speak.

3 You'll have an -- again, a central  
4 courtyard with fencing that will be interior  
5 space to the subdivision itself and then the  
6 two rows of houses.

7 There's an issue apparently with the  
8 current postal code requirements that they have  
9 to have a combined mailbox, which is what they  
10 are showing here (indicating).

11 And then some landscape plans for both the  
12 street front and then the interior to the  
13 courtyard itself. And the applicant can go  
14 through this in more detail.

15 So these were the original designs  
16 (indicating). In the report, I've noted them  
17 by the name of the design. Basically, this  
18 reflects the square footage of the project, the  
19 proposed house, and then the name. So you will  
20 see some of the same numbers but different  
21 names associated with them. And I'll go  
22 through these in some more detail.

23 I just want to note that these were the  
24 original designs, and then the addendum I sent  
25 out includes updated designs. And we'll go

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1 through that in more detail, but these are the  
2 same proposed houses with changes that reflect  
3 some of our conditions.

4 So to go through our conditions on the  
5 project itself, fundamentally -- and I'm going  
6 to read through them, and then we could  
7 probably talk about those first.

8 We're recommending the condition that the  
9 front setback be 10 feet. The setbacks in the  
10 area are a bit of a mixed bag because of the  
11 circumstances of the mix of uses. This  
12 multifamily has a zero lot.

13 A lot of what we're basing our  
14 recommendations on are the surrounding  
15 single-family residential, because that's  
16 really the context they are trying to replicate  
17 and we're reviewing basically.

18 The side setbacks, obviously there's a lot  
19 of flexibility in the overlay with side  
20 setbacks, but generally both zoning and design  
21 regulations talk about being sensitive to the  
22 surrounding setbacks for the contributing  
23 structures.

24 Doing a quick survey of aerial maps and  
25 general measurements, it appears that the

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1 average distance between the residential  
2 structures both on the back of this block and  
3 continuing on past the multifamily to the east  
4 is about 20 feet per structure, between  
5 structures. So knowing that there's some  
6 flexibility in how they want to lay out the  
7 project, we're conditioning that the average  
8 distance between the structures be 20 feet.

9 One of the justifications that we came up  
10 with that allows this project to function  
11 conceptually in the district is you do see as  
12 kind of a common design layout a primary home  
13 with typically a garage that may or may not  
14 have an apartment conversion or apartment above  
15 it. So taking that as an inspiration, we  
16 thought that generally you have a house and a  
17 structure behind it that replicates that  
18 design.

19 Our main contention is that the houses on  
20 the front are significantly narrower than the  
21 houses on the rear, which is sort of a reversal  
22 of what you typically find, so we're  
23 conditioning that either the front lot houses  
24 be wider or the rear lot houses be narrower.

25 With the increase in setbacks, the average

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1 distance here, I believe, is somewhere between  
2 10 and 15 feet. If these were all 20 feet, you  
3 would have a little bit more room to widen  
4 those designs.

5 We did recommend -- there's a potential  
6 solution in converting this to a single-car  
7 garage and then narrowing the rear house  
8 because at this point you're going to see  
9 between these houses, these other houses kind  
10 of jutting out, so they don't really meet that  
11 subordinate for an accessory structure.

12 We had concern with the -- this came up in  
13 the discussion of the project on College Street  
14 and others similar to this, where there was  
15 generally -- although there is diversity in the  
16 designs, it really doesn't -- when you compare  
17 them all in totality, it doesn't really give  
18 you enough diversity because they are all  
19 two-story, they all have partial width porches,  
20 so we conditioned that they provide an  
21 elevation for a one-and-a-half-story and that  
22 it be used at least once along this front lot  
23 layout.

24 In the addendum that I sent out, there is  
25 a one-and-a-half-story design they proposed to

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1 reflect that condition.

2 We asked for more diversity in the design  
3 of the front porches along College Street. As  
4 you can see from this rendering which reflects  
5 all the designs that they have, they are all,  
6 at most, half-width porches. Our  
7 interpretation of what they proposed is that,  
8 because these porches are somewhat recessed  
9 into the footprint, you can see here they  
10 reflect what is a somewhat common condition  
11 where you have sort of a partially enclosed  
12 front porch and maybe an enclosed upper story  
13 porch, which is something you do find in the  
14 district. And it's an interesting  
15 interpretation, but again you do have kind of a  
16 lack of diversity here.

17 One of the things that we recommended was  
18 that -- if you look, the house really is a  
19 rectangle. So if this footprint were reversed,  
20 you would end up with almost a full-width porch  
21 on College Street. Something along those lines  
22 may not be a complete redesign for them, but it  
23 would give you more of that diversity.

24 The project proposes -- there's a  
25 picture -- some neighborhood identification

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1 signage. We get that this is a new project and  
2 there's some identity they want to establish,  
3 but from the design guidelines this is designed  
4 to blend into the district and not be called  
5 out as new construction, not detract from the  
6 district as a whole, so we conditioned there be  
7 no identification signage, and it really should  
8 be part of the Riverside neighborhood.

9 As far as the designs for the rear, one of  
10 our main concerns -- because, again, these are  
11 not terribly visible for the most part -- were  
12 these properties on the sides. And you can see  
13 from the rendering here they really have no  
14 engagement with the street at all. The front  
15 of the house faces the park; the rear is on an  
16 alley; and these two structures that do face  
17 Willow Branch and Rubel Street are just blank  
18 walls.

19 Even if they do add the additional windows  
20 that were proposed in the addendum designs,  
21 there really is no engagement to the street, so  
22 we're asking that they do something to this  
23 design so that the front of the house has some  
24 engagement like a corner lot structure  
25 typically would, whether it's a side entry to

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1 the front porch or a full-width porch that has  
2 more engagement to the street, something to  
3 that extent.

4 We have a standard condition for  
5 driveways, normally that they not be more than  
6 10 feet in width with a 2-foot flare for the  
7 apron. That would be for the College Street  
8 properties. The parking for the rear ones is  
9 in the garage. In this case, parking for these  
10 College Street frontage properties would be in  
11 the driveways.

12 And then our usual condition related to  
13 the driveways. You don't see a lot of  
14 driveways open to the street, but that they be  
15 either concrete ribbons, brick-shaped pavers or  
16 some combination thereof but not plain  
17 concrete.

18 In the proposed design, they do have the  
19 rear driveways off the alley as being gravel.  
20 We've recommended that they not be gravel  
21 because it can create some conflicts,  
22 particularly if the alley is paved.

23 We've conditioned that the height of the  
24 facades along College Street be varied to  
25 replicate the more mixed designs you find

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1 throughout the district. The  
2 one-and-a-half-story will help with that.

3 We've also conditioned that no two of the  
4 same designs along College Street be placed  
5 next to each other. We don't want to see a  
6 situation where you have the same house over  
7 and over again.

8 We conditioned that the rear lot  
9 structures not be taller than the house on  
10 College Street. Typically, it's a standard  
11 zoning condition, so we don't get a lot of it,  
12 but accessory structures are never taller than  
13 the primary house.

14 We conditioned that all structures have a  
15 common finished floor height of not less than  
16 24 inches. There are no contributing  
17 structures on the block to gain context from,  
18 but we felt a minimum of 2 feet would be  
19 consistent with the neighborhood overall.

20 They are proposing a sidewalk along the  
21 sides and front of the project. Typically, in  
22 the district the historic sidewalks were  
23 hexagonal pavers. We're conditioning that they  
24 use a stamp in the concrete to replicate that.  
25 It's used commonly throughout the district

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1 where they are replacing plain sidewalk by  
2 Public Works, so I thought that was a fair  
3 request of the applicant.

4 And then because we've put some conditions  
5 in here that aren't reflected in that addendum,  
6 we've basically said any new designs they may  
7 come up with would have to come back to the  
8 Commission as a minor modification because  
9 those are incorporated into the PUD, and we  
10 would be approving them administratively, so we  
11 would want you to approve the design ahead of  
12 time.

13 And then our normal conditions with  
14 regards to minor changes in the final design  
15 coming before us.

16 But most importantly, Number 16, is that  
17 by approving this project, you're going to be  
18 approving these designs and allowing us to  
19 decide the placement, verify that these designs  
20 meet your approval with conditions, and the  
21 setbacks. So it would be a little bit  
22 different than what we normally do, although  
23 the concept is very similar.

24 When you issue a final order, they will  
25 bring the plans to us for construction, and we

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1 verify that everything meets the final order  
2 before they are allowed to pull their building  
3 permit. This would be the same type of  
4 situation, but it is granting staff a little  
5 bit more authority on these as far as placement  
6 and setbacks through the administrative  
7 process.

8 So just to go through the suggestions  
9 quickly, again, the rear lot driveways be  
10 concrete versus gravel. The rear lot homes  
11 having a one-car garage versus two.

12 We did think if they were reducing the  
13 garage size, they might need additional parking  
14 for residents, and we thought there might be an  
15 opportunity where these landscaped areas and  
16 I'm assuming sidewalks could be used as  
17 parallel parking spaces to make up for that  
18 difference.

19 That there be additional street trees as  
20 part of the development along the major  
21 right-of-ways. There really isn't any plan for  
22 street planting, and it's been an issue for the  
23 district as a whole. There's a replanting  
24 process going on through the tree committee  
25 right now.

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1 built together so that you don't end up with  
2 this potential hodgepodge, and then it doesn't  
3 move forward.

4 And then Number 7, the initial designs had  
5 some gables and hips mixed on the front and  
6 back of the houses. I'm fairly confident they  
7 have addressed that now through the addendum  
8 designs, so at this point it's a  
9 recommendation.

10 So I think -- and it's up to you guys, but  
11 it's probably good to go through this portion  
12 now, before we get into the designs, at least  
13 for if you have any questions for me moving  
14 forward.

15 THE CHAIRMAN: Okay.

16 MR. POPOLI: It's a lot.

17 THE CHAIRMAN: Does anybody have questions  
18 for staff?

19 COMMISSIONER KASPER: No. I think  
20 Christian explained it pretty well.

21 MR. POPOLI: Okay. Then the latter half  
22 of the report, I've done conditions for each  
23 design and then included the original rendering  
24 that was provided for those designs. I'm going  
25 to go through those. On your dais, you'll find

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1 With the Ernest Street project, where we  
2 did the six homes on Ernest Street recently,  
3 that project was a PUD that actually called for  
4 very complex multifamily design that never  
5 happened. One of the conditions in that PUD  
6 was that they could go back and do the  
7 traditional six single-family homes, which is  
8 what they ended up doing. We're asking that  
9 that be an option placed in the PUD as well  
10 because if this project for whatever reason  
11 goes bust, the property is platted as seven  
12 lots, and this would allow them to build those  
13 without having to go back through the PUD  
14 process.

15 And then we want to see that the project  
16 is developed in a logical pattern. One concern  
17 we have, since the rear lots are separate lots  
18 and will be platted separately and sold  
19 separately from the front, there is the  
20 possibility that the back half of the project  
21 could be developed first with this huge setback  
22 up front in a more suburban pattern. So that  
23 there be some logic in how the project develops  
24 for the front and back, either that the front  
25 is all built or that the front and back is

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1 a corrected version of those conditions. There  
2 was an unfortunate typo that was found.

3 And then on the first two designs, there  
4 was a condition that was included throughout  
5 the others that didn't get included there, so  
6 we wanted to add those in, and it deals with  
7 one particular architectural feature. A lot of  
8 these are standard conditions, so I'm just  
9 going to address the ones that are different  
10 from what you would normally see, window  
11 recesses and mullions and those sort of things.

12 On all of these -- let me get to the  
13 designs. Okay. So starting with 1791 Prairie,  
14 the first condition that we've added in on the  
15 amended conditions -- and you'll see this  
16 throughout these designs. There's this mix of  
17 replicated cedar shake and then the lap siding.

18 Typically, where you would find these  
19 divisions in materials would be on a more  
20 consistent level with the bottom of the  
21 windows, as opposed to dividing the window in  
22 half, and then it would be a condition you  
23 would find on all the elevations. So on this  
24 particular design, it is included throughout  
25 the four elevations, but we felt it really

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1 should go along the bottom of the windows as a  
2 more traditional element.

3 On the side elevations for all these  
4 designs, there was a general lack of windows to  
5 meet our standard conditions of a window every  
6 8 to 10 feet, so we're conditioning that. And  
7 then with that, the majority of the windows  
8 that would be added, would be vertically  
9 oriented, which is a pretty standard condition.

10 Beyond that, these really are our more  
11 traditional conditions with the exception of  
12 the -- what is now Number 7.

13 All of these have pretty much the same  
14 door depicted, so we wanted to make sure they  
15 have an option for a little more diversity in  
16 the front doors because it's a very defining  
17 feature for the front facade of the house.

18 In this case, we are giving them Craftsman  
19 style, full or half light. I believe we've  
20 added French as well, which didn't make it into  
21 this one, but basically just an option for some  
22 more diversity.

23 And then Number 9, again, that these will  
24 be approved through that administrative  
25 process.

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1 COMMISSIONER DAVIS: Christian, question.  
2 MR. POPOLI: Yes.

3 COMMISSIONER DAVIS: So you're asking us  
4 to approve this now. And then these  
5 modifications for like the additional windows  
6 and different door styles would be approved  
7 when you guys are reviewing them as the  
8 building permits are coming through?

9 MR. POPOLI: Yeah, because those would be  
10 fairly minor. Now, if they had a full new  
11 facade, that would come back to you. If they  
12 came in with a one-and-a-half-story or a  
13 one-story, we would bring that back to you.  
14 But these sort of conditions, I think they are  
15 clear enough that we would look for a window  
16 every 8 to 10 feet.

17 However, when I get done, just going  
18 through these, I'm going to bring up the  
19 addendum designs because I think they have, for  
20 the most part, addressed at least the window  
21 condition.

22 COMMISSIONER DAVIS: Gotcha.

23 MR. POPOLI: So moving on to the 1791  
24 Craftsman A. Again, we've added that same  
25 condition with the cedar shake. And you can

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1 see here it's running halfway through the  
2 window.

3 Here you have a mix of -- or not a mix.  
4 You have shutters noted on the building. It's  
5 not clear what the style of the shutters are.  
6 We've simply conditioned that they be  
7 traditional louvered style shutters, which  
8 would be common in the district if there are  
9 shutters.

10 Again, we have the door condition relating  
11 to the options for doors and then the COA  
12 administrative approval condition on that one.  
13 All the others are the same.

14 On the Craftsman B, 1791 Craftsman B,  
15 again, the consistent -- here the lack of the  
16 cedar shake siding being on the rear and right  
17 side elevations we thought was a bit atypical  
18 for the district.

19 This does have a second-story porch, so we  
20 have added a condition related to the typical  
21 railing design with the wood spindles and the  
22 enclosure, no exposed ends.

23 The addition of more windows obviously;  
24 the same front door condition; and then the COA  
25 administrative approval.

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1 COMMISSIONER BRAMWELL: Question.  
2 MR. POPOLI: Yes.

3 COMMISSIONER BRAMWELL: The condition on  
4 the 1817 Prairie, the first one, is that the  
5 shingle siding shall be applied at the same  
6 height as each elevation, generally along the  
7 lower sill of the upper story windows, not  
8 dividing the windows mid-sash? It's different  
9 than the earlier two, which I think when you  
10 were describing --

11 MR. POPOLI: Yeah. That's a good point.  
12 So that didn't make it either.

13 Okay. So the intent would be that --  
14 COMMISSIONER BRAMWELL: You just need to  
15 pick up a comma generally.

16 MR. POPOLI: Yeah. Right. Okay.

17 So anyplace where that condition was  
18 applied, unless for some reason -- in this  
19 case, where the cedar shake is applied, they  
20 basically met that by having it along the  
21 bottom of the window. They just didn't apply  
22 it to all the elevations.

23 But to your point, that probably should be  
24 part of the other conditions where it doesn't,  
25 so let me make a note. So that would be

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1 something we have to go through and make  
 2 consistent because we may have missed that. It  
 3 was a bit to go through all of these.  
 4 So that was Craftsman B. I think that's  
 5 all that's different on that one.  
 6 1817 Prairie, I think this is what  
 7 Commissioner Bramwell was talking about. The  
 8 first condition there has both elements, which  
 9 is the applying the shake to all sides evenly  
 10 and then having it along the bottom of the  
 11 window. Again, adding windows, having to be  
 12 vertically oriented, the option for the door,  
 13 and then administrative approval.  
 14 And I apologize, this is tedious.  
 15 1817 Craftsman A, this is probably a good  
 16 example of where I think the intent was -- the  
 17 beltline of the shake is correct here or at  
 18 least typical for the majority of the building,  
 19 but it hasn't been applied evenly. Again,  
 20 asking for a traditional louvered shutter.  
 21 Same window conditions as well as our standard  
 22 window conditions.  
 23 Here, the door condition has that  
 24 additional French option, which we would go and  
 25 add to the rest of them for diversity. And  
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1 then the administrative approval. I'm just  
 2 going to keep pointing that out because it is  
 3 drastically different than what we normally do.  
 4 And here you can see our recommendation  
 5 related to the hip versus gable, which I think  
 6 they have addressed in the new designs.  
 7 This is the 1817 Craftsman B. Now, in  
 8 this case, the shake is evenly applied and at a  
 9 correct height, so that condition wasn't there.  
 10 We do have a railing condition for the  
 11 second-story porch, the same traditional window  
 12 conditions, as well as the addition of more  
 13 windows that are both vertically oriented. And  
 14 then the door condition and the administrative  
 15 approval condition.  
 16 1805 Prairie, we've got that same -- the  
 17 more complicated and I think correct condition  
 18 with the shake beltline both in its application  
 19 and height, the railing condition because of  
 20 the second-story porch, windows being added to  
 21 both side elevations and their vertical  
 22 orientation, standard window conditions,  
 23 standard trim conditions, the door condition  
 24 allowing for diversity, the administrative  
 25 approval condition.  
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1 COMMISSIONER KASPER: Through the Chair,  
 2 Christian, this one appears to have brick on  
 3 the bottom.  
 4 MR. POPOLI: Yes.  
 5 COMMISSIONER KASPER: It's banding it at  
 6 mid height of the window?  
 7 MR. POPOLI: That's a good point. We  
 8 didn't address that. So that may be something  
 9 that --  
 10 COMMISSIONER KASPER: Or stone. I'm not  
 11 sure.  
 12 MR. POPOLI: I believe in the materials  
 13 list they provided, it says brick. It does  
 14 appear to be more of a field stone or  
 15 PermaStone kind of look, but in what they  
 16 provided in the other parts of the application  
 17 they gave us, they indicated brick. So that  
 18 would be something you could potentially  
 19 condition or ...  
 20 COMMISSIONER KASPER: It was just a  
 21 question to staff as to where you felt that  
 22 beltline should be.  
 23 MR. POPOLI: It does seem a bit atypical.  
 24 Do you have an opinion on this, talking  
 25 about the brick along the front there?  
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1 (Mr. Popoli confers with Ms. Sheppard.)  
 2 MR. POPOLI: So to Lisa's comment, it  
 3 would probably be along the bottom of the  
 4 windowsill, and then it would somewhat  
 5 replicate a stem wall, in which case it would  
 6 probably wrap the building in its entirety. So  
 7 it would be up to you guys how you want to  
 8 address that, but I think coming down would  
 9 make more sense than going up, as far as the  
 10 height goes.  
 11 COMMISSIONER KASPER: Yeah, I think coming  
 12 down. I don't think it has to go around the  
 13 whole building.  
 14 MR. POPOLI: And then to Lisa's point, if  
 15 it goes to the full second story, then it would  
 16 also be a common condition.  
 17 COMMISSIONER KASPER: Okay. Thank you.  
 18 MR. POPOLI: The remainder of these  
 19 conditions, this includes the shutter  
 20 condition, the railing condition. Although  
 21 that doesn't make sense, so I would say for  
 22 this one, 1805 Craftsman, we would probably  
 23 strike Number 4 because they don't have any  
 24 railings.  
 25 Same condition with the cedar shake. Same  
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1 condition with the addition of the windows,  
 2 vertical orientation. Standard window  
 3 conditions, the door condition for diversity,  
 4 and the administrative COA approval. And, of  
 5 course, this includes our normal final plans  
 6 and minor design changes, which would address  
 7 Ryan's comment earlier.

8 COMMISSIONER KASPER: Did you already say  
 9 that this one would have the hip versus the  
 10 gable modification, on 1805?

11 MR. POPOLI: That was a recommendation  
 12 that we had. Like I said, I believe the final  
 13 designs would -- their addendum designs they  
 14 have submitted would address that.

15 COMMISSIONER KASPER: Okay.

16 MR. POPOLI: I did want to back up for one  
 17 second and just mention that the -- starting  
 18 with the 1805 Prairie, these are the rear lot  
 19 designs versus the front lot designs. You can  
 20 tell from the difference between the 1817  
 21 Craftsman here, where basically the front and  
 22 rear elevations have porches, to this one, the  
 23 1805 Prairie, starts those rear where you have  
 24 the garage now on the back side that faces the  
 25 alley. I failed to point that out earlier.

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1 COMMISSIONER LOPERA: Question for staff.  
 2 Did you look at the setbacks for the rear  
 3 houses, side setbacks?

4 MR. POPOLI: We generally condition them  
 5 the same for the lots in their entirety because  
 6 the spacing would be -- traditionally, the rear  
 7 structures would be substantially smaller, so  
 8 setbacks usually aren't an issue.

9 The rear setbacks on the alley we didn't  
 10 feel was a substantial issue, so I don't know  
 11 that we addressed it, but I don't know that  
 12 what they proposed is problematic. Side  
 13 setbacks would be that same 20 feet generally  
 14 for the project.

15 COMMISSIONER LOPERA: So based on what I'm  
 16 seeing here, the side setbacks of the rear  
 17 structures look to be about 3 feet off the  
 18 property line, so recommending 20 feet would  
 19 limit that to, like, four houses back there.

20 COMMISSIONER KASPER: I thought the  
 21 recommendation was that the rear house would be  
 22 subordinate to the front house.

23 COMMISSIONER LOPERA: Subordinate, yes,  
 24 but if the recommendation is also that the side  
 25 setbacks meet 20 feet, now you have four houses

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1 that are very small in the back.  
 2 MR. POPOLI: That's a very good point.  
 3 (Mr. Popoli confers with Ms. Sheppard.)  
 4 MR. POPOLI: To Lisa's point, I think that  
 5 was the intent from staff's discussion  
 6 originally. If the front houses are spaced  
 7 apart further, then you would want the rear  
 8 structures to be subordinate and behind the  
 9 front houses, so they would -- you would want  
 10 the same setback. You wouldn't want 3 feet  
 11 between the larger houses in the rear and then  
 12 20 in the front.

13 And that's a good point. There are some  
 14 consequences to these decisions that will  
 15 affect potentially the number of lots and their  
 16 configuration.

17 COMMISSIONER LOPERA: So sort of like what  
 18 we decide for the front is going to  
 19 substantially affect how big the back lots are  
 20 also going to be?

21 MR. POPOLI: Right.

22 COMMISSIONER LOPERA: Or how many houses  
 23 they could potentially place there?

24 MR. POPOLI: Yes.  
 25 Let me just find my place here. Give me

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1 one moment.  
 2 All right. So for the 1825 Prairie, where  
 3 you have the railing condition, the shutter  
 4 condition -- which doesn't appear to apply, so  
 5 I would probably strike Number 3 and Number 2.  
 6 And then the standard -- well, not standard,  
 7 but the consistent cedar shake beltline issue,  
 8 the addition of windows, the vertical  
 9 orientation of the windows, the standard window  
 10 conditions, door diversity condition, and then  
 11 the COA administrative approval condition  
 12 beyond the normal conditions.

13 And letter J is the 1825 Craftsman. The  
 14 same consistent beltline, cedar shake  
 15 condition. We do have shutter conditions here  
 16 because they are shown on two of the  
 17 elevations, so they would be louvered shutters.  
 18 And also the shutters should be applied to all  
 19 windows on the given elevation or not at all.  
 20 They seem sporadic, particularly on the side  
 21 elevation. And, again, addition of windows,  
 22 vertical orientation, standard window  
 23 conditions, door diversity condition,  
 24 administrative COA condition.

25 So those --

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1 MS. ELLER: Mr. Chair, if I may for our  
 2 court reporter and for drafting the order  
 3 later, on the different elevations requested  
 4 labeled A through J, what I've heard from staff  
 5 with regard to overall amendments to these  
 6 proposed conditions is that for any condition  
 7 related to the beltline and shake shingle  
 8 siding, it would also include the words after  
 9 the comma, which are generally along the lower  
 10 sill of the upper story windows, not dividing  
 11 the windows mid sash.  
 12 All door conditions would also include the  
 13 language Craftsman-style, French half or full  
 14 light so that they are all half or full-light  
 15 doors, so they are all consistent with one  
 16 another.  
 17 We would strike any railing conditions  
 18 that do not apply, that have been included for  
 19 elevations that have no need for railing  
 20 conditions. Strike any shutter conditions that  
 21 do not apply because the elevation does not  
 22 include shutters.  
 23 And then the only item I had that would  
 24 require action at this point from the staff's  
 25 recommendation point is on Elevation H, the  
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1 question of whether or not there would be  
 2 additional language on the brick banding that  
 3 is shown as only going halfway down the window.  
 4 So from this point here forward, that's  
 5 what I have as this grouping of conditions.  
 6 THE CHAIRMAN: All right. Thank you.  
 7 COMMISSIONER LOPERA: One more question  
 8 for staff. Looking at the floor plans,  
 9 traditionally with two-story homes the second  
 10 floor height and the first floor height are the  
 11 same in this area.  
 12 MR. POPOLI: You mean the interior height?  
 13 COMMISSIONER LOPERA: Interior, yeah. I  
 14 noticed the second floor is 8 feet, and the  
 15 first floors are all at 9 feet, and I'm  
 16 wondering about that.  
 17 COMMISSIONER DAVIS: It's often --  
 18 COMMISSIONER LOPERA: I know for newer  
 19 homes it's like that, but for --  
 20 MR. POPOLI: We don't typically get into  
 21 interior design unless it has an impact on the  
 22 exterior.  
 23 COMMISSIONER LOPERA: Okay.  
 24 MR. POPOLI: So if you think that results  
 25 in something on the exterior that's  
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1 problematic, we could have a condition related  
 2 to that, but we really are just concerned with  
 3 that exterior facade.  
 4 COMMISSIONER LOPERA: Okay.  
 5 MR. POPOLI: All right.  
 6 THE CHAIRMAN: We're going to take a  
 7 10-minute break.  
 8 (Brief recess.)  
 9 THE CHAIRMAN: We're going to go ahead and  
 10 continue on here, and I'm guessing we're going  
 11 right into the addendum?  
 12 MR. POPOLI: Yes. Picking up where we  
 13 left off, I'm going to go through the addendum  
 14 that we had sent out and then we can talk about  
 15 the details of it.  
 16 As I said, we had met with the applicant  
 17 prior to the drafting of our total reports. We  
 18 had given them, generally, the conditions we  
 19 were talking about. And so this was their  
 20 response to a lot of that.  
 21 First, we had had the condition related to  
 22 a one-and-a-half-story. So they have proposed  
 23 this design as a one-and-a-half. They have the  
 24 overall height at 24 feet. Basically, the side  
 25 gable design with the front-facing dormer, and  
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1 then to the rear would be the -- a rear-facing  
 2 gable with a hip roof over the rear porch,  
 3 which faces the park.  
 4 We don't have any side elevations on  
 5 these, so maybe the applicant has brought  
 6 something related to that, but I don't know how  
 7 many conditions to this -- because the report  
 8 had been released when these came in, but this  
 9 would address at least the condition of a  
 10 one-and-a-half-story.  
 11 And then -- and that's the floor plan, if  
 12 Commissioner Lopera has any comments on that.  
 13 We had asked for a site plan that shows  
 14 the dimensions of the lots. They're  
 15 basically -- it's hard to read, but the lot  
 16 width here is shown as 36 feet. And they did  
 17 denote the driveways as being the ribbons. So  
 18 that addresses that concern as well.  
 19 And then these are the updated designs for  
 20 the floor plans that were shown. I don't know  
 21 that I can do a side-by-side with this  
 22 computer, but these are, I believe, in the same  
 23 order as the ones that we reviewed.  
 24 So as related to the conditions for the  
 25 1791 Craftsman, you can see that they have --  
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1 the hip roofs are used throughout. There's no  
 2 mix of those. They have added a number of  
 3 windows, at least on the right elevation  
 4 they're -- a majority are vertically oriented.  
 5 On the left, the -- and give me just a moment  
 6 to see if I can orient myself here.  
 7 THE CHAIRMAN: Christian, are you  
 8 comparing the Craftsman to the Prairie?  
 9 MR. POPOLI: I'm sorry.  
 10 THE CHAIRMAN: The first one is the  
 11 Prairie.  
 12 MR. POPOLI: You're right. I'm sorry. So  
 13 this would be the correct one (indicating).  
 14 Okay. So, again, they have added windows  
 15 to address that concern. They have a main hip  
 16 roof design with the gable protrusion, so I  
 17 don't think that that's really an issue.  
 18 I don't know that the shutter conditions  
 19 or the siding conditions were in what we gave  
 20 them originally, so they haven't necessarily  
 21 addressed that, but I think those are probably  
 22 fairly minor in relation to the design. The  
 23 windows, I think, are more complicated as far  
 24 as the construction and design goes.  
 25 The rest of the conditions I don't know  
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1 that you could really get into because window  
 2 recess and things like that, you can't tell  
 3 from the renderings. They do have some  
 4 different door designs throughout.  
 5 Again, I don't know, like I said, the  
 6 beltline and the cedar shake was in what we  
 7 gave them originally, so that wasn't really  
 8 addressed. We can't really discern the railing  
 9 condition.  
 10 They have added windows, and I would say  
 11 in this case they are -- a majority of them are  
 12 vertically oriented.  
 13 They have a -- again, a similar Craftsman  
 14 style door, which is correct for a Craftsman  
 15 design.  
 16 You've got an overall hip roof with the  
 17 front-facing gable, which addresses that  
 18 concern that we had.  
 19 Give me just a moment. Let me just see --  
 20 okay. So that's the Prairie and then they have  
 21 the Craftsman. I just wanted to make sure they  
 22 were all included. I apologize.  
 23 So we're on the 1817 Prairie. So here,  
 24 again, they have taken that window condition  
 25 into consideration. They've got a different  
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1 door design for some diversity. The roof form  
 2 is more consistent.  
 3 The 1817 Craftsman A --  
 4 THE CHAIRMAN: If you're going down the  
 5 list on the printed sheet --  
 6 MR. POPOLI: Yes.  
 7 THE CHAIRMAN: My second one is the 1791  
 8 Craftsman as is on the addendum.  
 9 MR. POPOLI: So the Prairie, Craftsman A.  
 10 MS. ELLER: So I have the 1624 Craftsman  
 11 one-and-a-half-story would be an additional  
 12 elevation, and then starting with Slide 2, the  
 13 1791 Prairie would equate to A elevation on the  
 14 list handed out. 1791 Craftsman A would be B.  
 15 1791 Craftsman B would be C. 1817 Prairie  
 16 would be D. 1817 Craftsman A would be E. 1817  
 17 Craftsman B would equate to F. 1805 Prairie  
 18 would be G. 1805 Craftsman would be H. 1825  
 19 Prairie would be I. 1825 Craftsman would be J.  
 20 And then at the pleasure of the Commission  
 21 you could include the 1624 Craftsman additional  
 22 elevation, one-and-a-half-story as the next  
 23 lettered elevation, which would be K, upon  
 24 labeling.  
 25 MR. POPOLI: I think, generally, they have  
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1 addressed, through a majority of these, the  
 2 roof concerns and the window concerns.  
 3 Obviously, we haven't gone through and done a  
 4 full evaluation of the windows, but I would say  
 5 generally that they've attempted to meet that  
 6 condition. There may be some windows that need  
 7 to be more vertically oriented to meet those  
 8 conditions overall.  
 9 And I don't know the total spacing on  
 10 these, but, I think, again, generally, they've  
 11 tried to meet that condition, again, with the  
 12 roof forms as well for the most part.  
 13 This one I think is the outlier, where you  
 14 have a mix of roof forms, but, again, that was  
 15 a recommendation, not a condition.  
 16 So, overall, I think they have attempted  
 17 to resolve that as best they could.  
 18 So I don't see anything glaringly  
 19 different as far as anything new that we didn't  
 20 address, and I think they've tried to address  
 21 most of the conditions that we had on the  
 22 designs, at least the ones that they had in  
 23 advance that they could address. And I think  
 24 the ones that are remaining are probably  
 25 aesthetically addressed as opposed to design,  
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1 so -- the location of siding and trim is not  
2 structural to the house, so they probably could  
3 address those fairly simply.

4 Okay. So that is our overall staff  
5 review. We're recommending the project and the  
6 designs with conditions.

7 I don't know -- obviously, you want to  
8 take the applicant's presentation, but do you  
9 have any overreaching comments or questions at  
10 this point for staff?

11 COMMISSIONER KASPER: Through the Chair,  
12 my only question is the rear houses versus the  
13 front houses and the setbacks. So you made a  
14 statement that there would be an average of a  
15 20-foot distance between homes, which is  
16 historically what you found in the area, and  
17 assuming that applies to the front homes that  
18 are on College Street. So maybe not now, but  
19 for me, my discussion is regarding the rear  
20 houses, that maybe they're different. They  
21 don't -- so --

22 MR. POPOLI: I did want to clarify --  
23 that's a good point, though. In the  
24 discussion, the question of setback versus  
25 separation between the structures got a little

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1 mixed. We're not recommending a 20-foot  
2 setback on the sides. We're recommending an  
3 average separation of the houses of being 20  
4 feet.

5 The side setbacks in the district tend to  
6 be fluid in that they're looked at as -- you  
7 know, on one side it might be 4 feet, on the  
8 other side it might be 8 feet. In this case,  
9 you may be looking at 15 and 5 or 16 and 4,  
10 something like that.

11 COMMISSIONER KASPER: Through the Chair,  
12 but your recommendation is what?

13 MR. POPOLI: That there be an average of  
14 20 feet between the structures on the sides.

15 COMMISSIONER KASPER: For the front  
16 houses?

17 MR. POPOLI: Overall.

18 COMMISSIONER KASPER: And the rear houses?

19 MR. POPOLI: Yes.

20 COMMISSIONER KASPER: Okay.

21 COMMISSIONER LOPERA: Through the Chair,  
22 the subordination has been referenced when  
23 talking about garage apartments behind  
24 single-family homes on one single lot, but this  
25 is a different situation because you have two

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1 single-family homes that are next to each  
2 other. So I'm curious as to how you came up  
3 with a subordination for these rear  
4 single-family homes that have their own alley  
5 access, which, you know, could become a street  
6 later on or whatnot, and how you applied that  
7 to this particular situation because I'm -- you  
8 know, in the past when we've referenced  
9 subordination it's been for garages and garage  
10 apartments.

11 MR. POPOLI: Certainly. I think you have  
12 to get to the point where you look at the  
13 project in the lens of what is traditional in  
14 the district. What you would traditionally  
15 find in the district is not two single-family  
16 homes behind each other. You would find a  
17 primary house with a garage apartment. And  
18 this, with the two structures linearly,  
19 replicates that design overall. It's a  
20 stretch, but we feel like you get there at  
21 least in concept. But to make that really work  
22 within the design guidelines, the rear house  
23 would have to, in some way, address that  
24 subordination like you would find with a garage  
25 apartment.

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1 This is a different design, but I think  
2 the design, overall, if you look at it as a  
3 self-inclusive subdivision, isn't typical for  
4 the district. But what is typical for the  
5 district is a house and a garage apartment. So  
6 applying those standard design regulations to  
7 this project, you get the concept of  
8 subordination being very important to make the  
9 whole thing work in the district. Does that  
10 make sense?

11 COMMISSIONER LOPERA: Yes. Thank you.

12 COMMISSIONER BRAMWELL: I have one  
13 question. Through the Chair, with the  
14 one-and-a-half-story design, if I recall the  
15 initial conditions correctly, was there not one  
16 that's -- the rear structures need to be lower  
17 than the front structures or was that just a  
18 suggestion?

19 MR. POPOLI: I, frankly, don't remember.

20 COMMISSIONER BRAMWELL: Because I'm  
21 curious as to what would go in the back row if  
22 we had a one-and-a-half-story house in the  
23 front.

24 MR. POPOLI: Well, it -- I believe the  
25 condition and the recommendation dealt with

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1 height, not necessarily story. So this, being  
 2 a 24-foot-high structure, could very well have  
 3 a two-story behind it. Particularly with a  
 4 side-facing gable, it wouldn't necessarily  
 5 stand out, provided it was also 24 feet or  
 6 lower.  
 7 COMMISSIONER BRAMWELL: Right.  
 8 MR. POPOLI: And it was a condition. It  
 9 was Number 13 under the general conditions.  
 10 Rear lot structures shall not be taller than  
 11 the College Street front homes.  
 12 COMMISSIONER KASPER: Through the Chair,  
 13 procedurally, is that something we would  
 14 discuss after the applicant or -- because  
 15 that's probably my biggest hang-up -- or not  
 16 hang-up but what I'd like to discuss is the  
 17 rear versus the front.  
 18 MS. ELLER: My recommendation would be to  
 19 be consistent with the previous applications,  
 20 and at this time, since we've concluded what  
 21 has been a very lengthy staff report, to bring  
 22 it into the public hearing/applicant component,  
 23 and then move something forward and then get  
 24 into discussion.  
 25 THE CHAIRMAN: Anybody else have questions  
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1 for staff?  
 2 COMMISSION MEMBERS: (No response.)  
 3 THE CHAIRMAN: Okay. We'll open up the  
 4 public hearing. Is the applicant here?  
 5 (Audience member approaches the podium.)  
 6 AUDIENCE MEMBER: I am.  
 7 THE CHAIRMAN: If you'd state your name  
 8 and address, please.  
 9 AUDIENCE MEMBER: Alex Sifakis, 340 8th  
 10 Street, Atlantic Beach, Florida.  
 11 Thank you, Christian. That was a very  
 12 extensive overview of the project. I probably  
 13 couldn't have done it better myself.  
 14 THE CHAIRMAN: She's going to swear you in  
 15 real quick.  
 16 MR. SIFAKIS: Oh, sorry.  
 17 THE REPORTER: If you would raise your  
 18 right hand for me, please.  
 19 MR. SIFAKIS: (Complies.)  
 20 THE REPORTER: Do you affirm that the  
 21 testimony you are about to give will be the  
 22 truth, the whole truth, and nothing but the  
 23 truth?  
 24 MR. SIFAKIS: I do.  
 25 THE REPORTER: Thank you.  
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1 MR. SIFAKIS: So I have some packets to  
 2 pass out. I guess you guys have most of the  
 3 other items. What I didn't see put up there  
 4 was the new overall site plan. I'd like to  
 5 just pass this out.  
 6 (Tenders documents.)  
 7 All right. So as you can see, this is a  
 8 fairly large and extensive project. I really  
 9 appreciate everyone's time and comments and  
 10 input.  
 11 So we worked on this for over a year and a  
 12 half. We've had many different meetings with  
 13 the City, with council people, people in the  
 14 district, with RAP, and everyone has been very  
 15 positive. I think we've come to a project that  
 16 is a good mix of what was allowed to be there  
 17 before, a 24-unit apartment building, which --  
 18 the area is zoned commercial -- and the  
 19 residential use.  
 20 So we have a reduction in density, and so  
 21 we are -- you know, what we're requesting is  
 22 more dense than what would -- was residential  
 23 there, but less dense than what the property is  
 24 actually zoned for.  
 25 So we don't expect to have to -- to abide  
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1 by the, you know, single-family residential  
 2 that it's adjacent to because it's zoned  
 3 commercial and is currently zoned for a 24-unit  
 4 apartment complex.  
 5 The idea for the courtyard homes actually  
 6 came from RAP. We've had three or four  
 7 meetings with them, a lot of input to get to  
 8 this point, so we definitely appreciate that,  
 9 and their -- what I hope will be positive  
 10 comments on the project.  
 11 We pulled the house designs straight from  
 12 the neighborhood. Just to kind of preempt a  
 13 lot of discussion, we will agree to and have  
 14 already put into account just about all of the  
 15 suggestions on the actual floor plans and on  
 16 the exterior elevations. So I have two  
 17 comments on those, but, by and large, we agree  
 18 with and we can do everything that the City  
 19 suggested as far as the elevations go.  
 20 We have one more thing to pass out to you.  
 21 (Tenders documents.)  
 22 So this is the suggestions from the City  
 23 on what we -- you know, what they recommended.  
 24 And so there was 25 suggestions -- or  
 25 conditions and suggestions. We have already  
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1 inputted or can agree to 20 of them, so over  
 2 80 percent. There is some that just don't work  
 3 with the project.  
 4 (Timer notification.)  
 5 MR. SIFAKIS: So going to courtyard homes  
 6 versus the traditional residential development,  
 7 we're incurring significant costs, so we have  
 8 to put in new water lines, new sewer lines,  
 9 we're paving the alley, we have significant  
 10 hardscape expense. So the project does not  
 11 work with the reduced density that the City is  
 12 asking for.  
 13 And they didn't technically ask for  
 14 reduced density, but when you take side  
 15 setbacks down from 3 foot, which is what would  
 16 be approved in a traditional RMD-A zoning is a  
 17 3-foot side setback, which is what we have on  
 18 the rear homes, the project just doesn't work  
 19 if you go to 20 feet between the homes. We  
 20 wouldn't be able to move forward at all.  
 21 So I actually highlighted the -- under the  
 22 City's recommendations. So the first three  
 23 just don't work for the project because we need  
 24 to get 19 homes in order for it to work, and it  
 25 would be impossible to abide by those

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1 conditions and get the 19 homes.  
 2 And I will say that we're not even trying  
 3 to max out density. We could have done 20.  
 4 That lot that we're using for, you know, an  
 5 increased community space, it could have  
 6 been -- there wasn't actually any right-of-way  
 7 restrictions. We had the project plan where we  
 8 could do 20. We wanted to add an additional  
 9 community space. Obviously, these projects  
 10 don't have traditional backyards. It's more of  
 11 a community backyard, which we've been having a  
 12 lot of positive response to, but we thought  
 13 that changing that lot from a home to more of  
 14 a, you know, dog park/backyard kind of feel  
 15 would work, but we do need to get 19.  
 16 The other ones, if they're in -- if  
 17 they're highlighted in green or in yellow -- so  
 18 green we've already done, and you will see that  
 19 on the new plans when we go through it. Yellow  
 20 we will agree to. So we can do the conditions  
 21 that we can agree to.  
 22 The suggestion for the rear homes to have  
 23 a one-car garage and be skinnier and  
 24 subordinate wouldn't work financially for the  
 25 project.

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1 And then we're actually okay -- so the --  
 2 so Suggestion 5, where we have part of the  
 3 traditional uses in a PUD, that if the project  
 4 doesn't go forward allow that to be -- somebody  
 5 build a single-family traditional pattern, I  
 6 mean, that's fine, but we couldn't move forward  
 7 with the project in that manner.  
 8 So now if you guys could just open up that  
 9 packet, I kind of want to go through some of  
 10 the changes we've already made and then go  
 11 through a couple of requests that we have.  
 12 So you can see -- Christian kind of went  
 13 through how -- where it was zoned and what was  
 14 there before.  
 15 I guess if you flip to the first site  
 16 plan, probably Page 8 or so. So as you can  
 17 see, we've already made a lot of the changes  
 18 that were requested. We removed the signage  
 19 for the entry feature. We did add street  
 20 activation for all of the homes on the side  
 21 where the porches were turned to be facing the  
 22 street. And for the rear homes, we actually  
 23 added a sidewalk leading directly from the  
 24 sidewalk to the home, and we're going to add an  
 25 additional gate there.

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1 So there will be a main gate in the  
 2 courtyard, so each -- there will be a gate here  
 3 (indicating) and a gate here. And then for the  
 4 rear homes there will be an additional gate  
 5 just to really give that street activation from  
 6 those rear homes.  
 7 And then the front properties will have  
 8 porches on each side so that the houses aren't  
 9 closed off to the street.  
 10 These lots are 36 feet wide. The Green  
 11 Street development that was approved just north  
 12 of there did both 35- and 40-foot lots, so the  
 13 width of the lots are pretty consistent with  
 14 that project.  
 15 And then with the -- if you flip to --  
 16 well, actually -- so for the  
 17 one-and-a-half-story home -- I know you guys  
 18 have seen both of these, but this is actually  
 19 not a rear elevation. These are the two front  
 20 elevations of this home. So we didn't have  
 21 time -- we put this together in the last week.  
 22 We didn't have time to do the side elevations,  
 23 but that's one potential front elevation and  
 24 this is the other potential elevation  
 25 (indicating).

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1 So another comment that -- we actually  
2 agreed with the comment that was made where --  
3 I think we need a lot of diversity on the  
4 street. You don't want to see the same plan  
5 over and over again. We actually have eight  
6 different plans, potential plans for these nine  
7 front lots. So you have two floor plans, each  
8 with three elevations. So you get six  
9 potential houses. And then you have the  
10 one-and-a-half-story with two elevations,  
11 another two, so eight total. So we thought  
12 that eight potential homes for nine lots was a  
13 significant amount of diversity.

14 Any questions on any of that?  
15 COMMISSION MEMBERS: (No response.)

16 MR. SIFAKIS: Okay. So, lastly, there was  
17 three things in the conditions for the homes  
18 that I wanted to discuss.

19 So there was a condition for a 24-foot  
20 height, but typically, and what we've done in  
21 other infill projects in the historic  
22 districts, is done a three-course stem wall,  
23 which -- of course, a block is 8 inches, so  
24 that would be 24, but the first course is  
25 actually normally partly below grade. So it

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1 would typically be more like an 18- to 20-inch  
2 finished floor height, not 24. At 24, you have  
3 to do a 4-course block, which we, to my  
4 knowledge, haven't done and isn't typical on  
5 infill projects. So we'd like to ask that be  
6 reduced to 18 inches, which will still give  
7 three -- you know, you still have three steps.  
8 It still will fit in with all the other new  
9 construction that I know we've done in the  
10 neighborhood, but it won't require us to do  
11 four courses. That's also just a significant  
12 price increase. And, as I alluded to, we want  
13 to be able to go forward with this project.

14 We did -- if you look at the elevations,  
15 we've added a lot of detail that is expensive.  
16 So with the bump-outs, with corbels, with  
17 brackets, things like that to really give these  
18 things a historic character, we're not -- you  
19 know, we're not pinching pennies on those  
20 items. So just hoping we can get some  
21 consideration there.

22 So going to the comments on the 1791  
23 Craftsman B, and then all of the other projects  
24 that have this condition, which were the  
25 beltline comments, so we're fine with that.

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1 We're fine dropping it down below the window  
2 and taking it all the way around. We would  
3 just ask that the buyers could potentially  
4 substitute either a board and batten or a lap  
5 above that line instead of being locked into  
6 doing a shake. So we can change the look of  
7 the outside. We just like the option, in  
8 addition to what's on the elevations, which is  
9 shake, to do board and batten or Hardie lap  
10 above that beltline.

11 Every other condition on the actual house  
12 elevations we have already done or can agree  
13 to.

14 And that's about all I have.

15 COMMISSIONER DAVIS: What was the verdict  
16 on the stacked stone? Are some of these  
17 actually -- are you anticipating that or --

18 MR. SIFAKIS: No. It's all going to be  
19 brick. So in the new floor plans, we actually  
20 change out all the stacked stone with brick.

21 COMMISSIONER DAVIS: Okay.

22 MR. SIFAKIS: I'm sorry. So that was the  
23 other one. So with the Wainscoting on the  
24 front of the home, if we do have to wrap that  
25 all the way around, I would request that we

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1 also have the ability to just not do the  
2 Wainscoting at all. So one or the other. We  
3 can wrap it all the way around. That's fine.  
4 We'll drop it below the window, but also have  
5 the ability to remove it and just take the  
6 typical siding down to the -- grade.

7 MS. ELLER: Mr. Chair.

8 THE CHAIRMAN: Uh-huh.

9 MS. ELLER: May I summarize what I believe  
10 are the modifications requested by the  
11 applicant?

12 THE CHAIRMAN: Sure.

13 MS. ELLER: For the record. Thank you.

14 What I've heard so far is that, in  
15 addition to the Item K that we added to the  
16 list of elevations, that -- you actually have  
17 two elevations for a one-and-a-half-story  
18 version. So they would be added as K and L, if  
19 we adopted the addendum elevations plus those  
20 two.

21 And then the requested changes you've  
22 asked for are consideration of Items 1, 2 and 3  
23 under the recommended conditions, under the  
24 general conditions. I did not hear an option  
25 for modifying those, but that you wanted those

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1 considered.  
2 Condition Number 10 regarding common floor  
3 height, under the general conditions, you  
4 requested that from 24 to 18.

5 And then separate from the general  
6 conditions, on the conditions related to the  
7 individual elevations, for each one where we  
8 have included the beltline condition, you would  
9 like the option to add board and batten or lap  
10 above the beltline.

11 And then, again, on the conditions  
12 applicable to each of the elevations, for the  
13 Wainscoting, full wrap to either full wrap or  
14 remove it entirely, but I don't know that I  
15 understand where that fits in the specific  
16 conditions for the elevations.

17 Can you help me with that, Christian?  
18 MR. POPOLI: Okay.

19 MS. ELLER: The last item that was  
20 requested is that, if there is a requiring for  
21 full wrap for Wainscoting -- Wainscoting,  
22 however you properly pronounce that --

23 MR. SIFAKIS: The (inaudible) Craftsman is  
24 the --

25 (Simultaneous speaking.)

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1 MS. ELLER: So the --

2 MR. POPOLI: It's the brick we were  
3 discussing.

4 MS. ELLER: Okay. So that goes to the  
5 condition that we had on H, which was brought  
6 up by one of the Commission members, which was  
7 that -- regarding that banding, if you go to  
8 full -- you either go to full wrap, but if you  
9 don't go to full wrap, you'd like the option to  
10 remove it entirely?

11 MR. SIFAKIS: Yes.

12 MS. ELLER: Okay. So any of the different  
13 elevations where that would apply, that would  
14 be a modification to those conditions.

15 So that's what I've heard as the requested  
16 modifications from the applicant so we can have  
17 it clear for our court reporter.

18 THE CHAIRMAN: Thank you.

19 MR. POPOLI: Through the Chair, if I could  
20 just make one comment on the -- Number 10,  
21 floor height.

22 THE CHAIRMAN: Sure.

23 MR. POPOLI: It wasn't clear in the  
24 condition, but I think it should be brought out  
25 that that was for the College Street

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1 elevations. The rear ones obviously have a  
2 garage. We weren't anticipating that those be  
3 two feet off the ground. So it was just the  
4 College Street elevations that would be  
5 addressed with that one.

6 THE CHAIRMAN: Okay. Thank you.

7 COMMISSIONER KASPER: Through the Chair,  
8 question for the applicant. You say that  
9 recommendation -- Condition Number 1, the front  
10 setback of 10 feet cannot be made. What is  
11 your front setback?

12 MR. SIFAKIS: It's 5 feet.

13 So the building next door, the apartment  
14 building next door is 0 feet. So we're still  
15 set back from the building to the east of this  
16 project.

17 COMMISSIONER KASPER: Okay. And then  
18 question or maybe a comment. The side yards on  
19 the College elevation appear to be the full  
20 10 foot of the driveway. So property line to  
21 building is 10 feet, what it appears. Not sure  
22 if that's our jurisdiction to comment on that  
23 as to whether the car could really get in there  
24 and whether that might cause cars not to go in  
25 there and put them out on the street.

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1 A standard parking space in a shopping  
2 mall is 9 feet wide. So you -- if that  
3 truly -- if someone puts a fence up, then you  
4 can kind of barely open your doors, but --

5 MR. SIFAKIS: So what was the --

6 COMMISSIONER KASPER: Just a comment.

7 The College Street houses, the driveway  
8 appears to be the full 10 feet from property  
9 line to building. Just a caution that --

10 MR. SIFAKIS: Right. So we were -- we did  
11 take that into account, and we were going to --  
12 you know, as part of the HOA, there was going  
13 to be fences behind -- basically at the rear of  
14 where that -- where the driveway stops, and  
15 we're going to put it in the HOA where you  
16 cannot put fences up. So you'll have a full 11  
17 feet. Basically, you're going to be kind of  
18 using your neighbor's 3 feet before their house  
19 as a way to get out.

20 COMMISSIONER KASPER: Okay. Got it.  
21 Thank you.

22 COMMISSIONER DAVIS: Well, a typical  
23 double driveway is 16 feet. It would seem  
24 functional.

25 COMMISSIONER KASPER: It sounds like he's  
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1 closer to 13, but it will work.  
 2 COMMISSIONER DAVIS: Right. I mean, like  
 3 a regular driveway.  
 4 THE CHAIRMAN: Right. Not a double.  
 5 MR. SIFAKIS: Regular driveways are  
 6 normally 8 or 9 feet, is what we normally pour.  
 7 And then so one other thing. So at the  
 8 back of -- so on the alley, we had the -- an  
 9 area of -- a landscaped area between each of  
 10 the houses, and we could remove that  
 11 landscaping and just put gravel in that area  
 12 and it would act as -- it wouldn't be a fully  
 13 conforming parking space, but that would work  
 14 as a parallel parking space up behind the  
 15 properties for potential other parking. So  
 16 that was a suggestion we could do in the rear  
 17 to make, you know, potential additional  
 18 parking.  
 19 THE CHAIRMAN: Okay. Does anyone else  
 20 have questions?  
 21 COMMISSIONER DAVIS: What's the width of  
 22 the alley in the back?  
 23 MR. SIFAKIS: Ten feet.  
 24 THE CHAIRMAN: All right. Alex, we'll  
 25 call you back up if we need you.  
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1 MR. SIFAKIS: Thank you.  
 2 THE CHAIRMAN: Thank you.  
 3 MR. POPOLI: Through the Chair, I did have  
 4 one question for the applicant, if I can.  
 5 THE CHAIRMAN: Sure.  
 6 Alex, give us one second.  
 7 MR. POPOLI: On the revised elevations,  
 8 there's -- I don't know if it's on all of them.  
 9 I think it is. There's a -- like a stoop and  
 10 then a second door that doesn't have that  
 11 covering over it. Are those structurally  
 12 necessary? Can they be similar? Can one go  
 13 away? Like, what's the -- it's a little odd.  
 14 MR. SIFAKIS: Yeah. It probably just had  
 15 to do with -- we know the Commission is -- the  
 16 plate heights are important, so we probably  
 17 didn't want to accentuate that. We could go  
 18 either way, either remove it -- have the option  
 19 to remove it or put it on both would work for  
 20 us. We wouldn't need to have one with the  
 21 covering and one without.  
 22 MR. POPOLI: Okay.  
 23 COMMISSIONER LOPERA: Quick question for  
 24 Alex. When I'm looking through what this might  
 25 potentially look like under Proposed Master  
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1 Plan College Street Frontage Homes, where you  
 2 have -- it's being flanked by the  
 3 one-and-a-half-story on each side.  
 4 MR. SIFAKIS: Right.  
 5 COMMISSIONER LOPERA: I'm noticing a lot  
 6 of similarities with the seven homes in the  
 7 middle. Would it be a potential to maybe add  
 8 one more just different sort of floor plan or  
 9 different plan, maybe even like a Tudor or  
 10 something like that or -- something else that  
 11 would be -- I know you've added the  
 12 one-and-a-half-story.  
 13 MR. SIFAKIS: So --  
 14 COMMISSIONER KASPER: Sorry. Before you  
 15 answer that, just to clarify. There are X  
 16 number of elevations and there's a requirement  
 17 that the same elevation can't be next to  
 18 itself, the other.  
 19 MR. POPOLI: That's correct. That's a  
 20 good point. The --  
 21 COMMISSIONER KASPER: How many elevations  
 22 are there?  
 23 MR. SIFAKIS: There's eight for the front.  
 24 COMMISSIONER KASPER: Okay. So there's  
 25 eight elevations that a buyer can choose and  
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1 you cannot have the same elevation next to each  
 2 other.  
 3 COMMISSIONER LOPERA: Okay.  
 4 MR. SIFAKIS: Exactly.  
 5 COMMISSIONER KASPER: So regardless of  
 6 what this picture shows, it's whatever the  
 7 buyer wants.  
 8 MR. SIFAKIS: Exactly.  
 9 COMMISSIONER LOPERA: Okay.  
 10 MR. SIFAKIS: So there are -- and I don't  
 11 actually know -- I don't think that all of the  
 12 different types are represented here. I don't  
 13 know that they are or not. I know that we  
 14 wouldn't allow somebody to put the same  
 15 elevation or the same one-and-a-half-story on  
 16 each corner. So I -- I actually don't like  
 17 this either, and that's not what it will look  
 18 like, I promise.  
 19 But we do feel that we've addressed  
 20 the diversity. You know, if it came down to  
 21 approving or disapproving and it was one  
 22 more -- a Tudor elevation, we would do that.  
 23 It's really those five items that are on there  
 24 that -- the project doesn't work if we can't  
 25 get those taken off.  
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1 THE CHAIRMAN: All right. Thank you.  
 2 MR. SIFAKIS: Thanks.  
 3 THE CHAIRMAN: Is there anybody else here  
 4 to speak on this COA?  
 5 AUDIENCE MEMBER: (Indicating.)  
 6 THE CHAIRMAN: Come on up.  
 7 (Audience member approaches the podium.)  
 8 AUDIENCE MEMBER: Hi.  
 9 Nancy Powell, 1848 Challen Avenue,  
 10 Jacksonville, 32205.  
 11 Okay. So as you know, I'm the board chair  
 12 of Riverside Avondale Preservation and also the  
 13 past zoning chair.  
 14 As you know, our mission is to preserve  
 15 the historic and unique character of the  
 16 neighborhood. With new construction, that's a  
 17 little different, but we encourage the JHPC and  
 18 the builders to plan for the future historic  
 19 district of the -- you know, with homes that  
 20 celebrate the same kind of diversity and  
 21 integrity of the architecture, along with the  
 22 friendly pedestrian [sic] environments that  
 23 include parks, trees and nature.  
 24 Subdivisions provide a unique challenge.  
 25 We've had -- the situation over on Green and  
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1 Myra was a -- one of the more recent ones, even  
 2 though Avondale, of course, was its own  
 3 subdivision back in the day.  
 4 Our zoning committee did meet with Curtis  
 5 on a number of occasions. We are meeting Alex  
 6 for the first time, so we haven't had the  
 7 chance to talk with him.  
 8 I want to just say from a process  
 9 standpoint, I'm -- I think it was our thinking  
 10 that zoning probably would have come first. I  
 11 know there's a PUD and a land use amendment.  
 12 That's what happened on Green and Myra Street.  
 13 I know the concept and the intent is to have  
 14 this thing more fully developed when it goes  
 15 there, but, for example, the site plan up here,  
 16 we've not seen that with the dimensions on it  
 17 before.  
 18 So I think he -- Alex presented some  
 19 packages to you guys today. We have not seen  
 20 what you guys are seeing right now.  
 21 So I have a little bit of a concern  
 22 overall that perhaps today, because it's such a  
 23 complex project -- it requires site planning,  
 24 setbacks, site -- as well as all of the  
 25 different elevations, that -- a recommendation  
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1 that we would have -- and, again, knowing that  
 2 there's zoning still, there's several months of  
 3 other work that needs to be done, is to --  
 4 perhaps it's a conceptual approval today, kind  
 5 of like DDRB does, and then some of these  
 6 changes where we've heard that we don't have  
 7 side elevations, we don't have this, we don't  
 8 have that, that it really would come back as a  
 9 fully formed project that you already are  
 10 familiar with, and kind of iron out the details  
 11 at the next meeting. That would be our  
 12 recommendation, given the complexity of -- and  
 13 also the fact that a lot of stuff has been  
 14 shared today that we -- you know, it would be  
 15 nice if we had seen some of that. We did see  
 16 the addendum yesterday.  
 17 So this is a unique situation. We did  
 18 recommend the courtyard concept, which is not  
 19 historic in nature at -- in the district, but  
 20 this particular property is on the edge of the  
 21 district. And if you go over there -- I was  
 22 bicycling by there yesterday. There is an  
 23 industrial property, working industrial  
 24 property across the street. There were dump  
 25 trucks at 7 p.m. working across the street.  
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1 So when you -- when the original concept,  
 2 which was 13 homes facing College Street on  
 3 very narrow lots -- so much narrower than  
 4 what's proposed here, narrow and very long. It  
 5 just didn't feel right. One of our zoning  
 6 members was familiar with the concept and  
 7 proposed it, so --  
 8 (Timer notification.)  
 9 MS. POWELL: So that's kind of how we got  
 10 to today. And it's not something that we would  
 11 recommend in other parts of the neighborhood.  
 12 We don't have very many parcels that are  
 13 subdivision-ready, although we have more than  
 14 we used to think we did.  
 15 And I guess my time is up, so --  
 16 THE CHAIRMAN: You can take another minute  
 17 if you --  
 18 MS. POWELL: Take another --  
 19 THE CHAIRMAN: That's fine.  
 20 MS. POWELL: Okay. So we did provide some  
 21 comments. I think you guys got them. I just  
 22 wanted to highlight a few things.  
 23 We think that the staff did a very  
 24 thorough job, and that the project will be a  
 25 better project if their recommendations are  
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1 adopted.  
2 We totally agree with the 10-foot setback  
3 on College Street because primarily -- and we  
4 saw this on Green and Myra Street. When you  
5 don't have the widths for the driveways, it's  
6 problematic. And one of my bugaboos is when  
7 people park over the sidewalks because there's  
8 not enough room to open your doors. So I think  
9 that that's a reasonable compromise.

10 We also -- at the site -- and this was not  
11 addressed in the staff report, but there's an  
12 existing right-of-way right now with about ten  
13 mature oak trees on College Street, and we had  
14 suggested to Curtis that they adjust and --  
15 maybe they take out a couple of them, but that  
16 the driveways -- that the site plan can respect  
17 the existing trees. Those trees add, you know,  
18 \$10,000 to the value of that house and they  
19 protect it from the College Street across the  
20 street, which is this industrial property, and  
21 it's not very -- so that was one of the  
22 different recommendations.

23 We support the diversity and massing and  
24 design. I think that's really the challenge  
25 here, when houses are so close together, and we  
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1 think that the Rubel Street houses should  
2 have -- and Angela is going to talk a little  
3 bit more about the architecture, but they need  
4 to address the property over there.

5 We also think that -- maybe this is in the  
6 PUD, maybe not, is that -- a more fully formed  
7 landscape plan, without palm trees -- sorry,  
8 Curtis -- with shade trees and, you know, the  
9 pocket park and no sign on the subdivision  
10 would be there.

11 So we're not opposed to the density of  
12 this particular location. Most pocket  
13 neighborhoods, as we've studied them, do have  
14 houses that are a little smaller than these  
15 houses. So this presents a little bit of a  
16 challenge when you only have 6 feet, you know,  
17 between houses. That's not unheard of in  
18 historic neighborhoods. So the density is okay  
19 if it's done well, and that's the challenge  
20 ahead of us.

21 Thank you.  
22 THE CHAIRMAN: Thank you.  
23 (Audience member approaches the podium.)  
24 THE CHAIRMAN: Your name and address,  
25 please.

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1 AUDIENCE MEMBER: Angela Schifanella, 1352  
2 Avondale Avenue, Jacksonville, Florida.

3 THE REPORTER: If you would raise your  
4 right hand for me, please.

5 MS. SCHIFANELLA: (Complies.)

6 THE REPORTER: Do you affirm that the  
7 testimony you are about to give will be the  
8 truth, the whole truth, and nothing but the  
9 truth?

10 MS. SCHIFANELLA: I do.

11 THE REPORTER: Thank you.

12 MS. SCHIFANELLA: I'm just going to  
13 comment, basically, on the design.

14 I think staff did a fantastic job on a  
15 complex project, to go through and try to  
16 address all those.

17 I'm going to follow briefly, just as a  
18 member of RAP, really trying to get trees in  
19 the right-of-way, how important those  
20 right-of-way trees are. Particularly if this  
21 5-foot setback which is proposed stays in  
22 place, there is no opportunity for trees in  
23 front of these houses without using those  
24 right-of-way trees. So we would love to see  
25 that site plan just adjusted enough to

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1 accommodate those. And if the trees do need to  
2 be thin, that they do that in a regular  
3 pattern. Every other tree or -- not just take  
4 out three and leave one, you know, do that in a  
5 consistent manner.

6 Generally speaking, we're in favor of  
7 these one-and-a-half-story schemes. I think  
8 that's a much more appropriate size and scale  
9 in some ways for this courtyard development.  
10 And so we encourage the adoption of the  
11 one-and-a-half-story plans and elevations.  
12 Again, we would love to see all four elevations  
13 before we could make a final assessment on  
14 that.

15 On the Rubel Street and on Willow Branch,  
16 we consider those to be primary front  
17 elevations. And what's being presented to us  
18 is -- you can pick -- the owner will pick a  
19 model, it will have a side elevation, but  
20 they're going to be just like all the other  
21 side elevations, and we believe that they have  
22 to specifically address those streets. So that  
23 might be a plain change with a gable projection  
24 or something that takes that from just one  
25 long, flat side elevation.

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1 He did a nice job -- we commend the  
2 applicant for adding windows and reducing the  
3 number of the horizontal windows, but we really  
4 would like to see specific elevations proposed  
5 for those streets, whether they be for the  
6 one-and-a-half-story scheme or the two-story  
7 scheme; and that if someone buys that corner  
8 lot, that that elevation should be specifically  
9 approved for that site.

10 On the sill band, definitely in agreement.  
11 The sill band should be in a traditional place  
12 at the bottom of the window sill or at the  
13 break between the first and second floor.

14 I will say specifically on the 1791  
15 Prairie there is a brick band and a sill band  
16 and, you know, variety and materials are  
17 starting and stopping. I think there could be  
18 simple refinements here that just made it a  
19 more historically consistent design. I don't  
20 think you should have a brick band and another  
21 sill band immediately above that.

22 And, again, there's still some of these  
23 very horizontal windows in these addendum  
24 designs that we would like to see addressed and  
25 meet the conditions.

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1 generally speaking, on the porches, we would  
2 love to see one of these elevations have a full  
3 front porch. You know, almost all of them are  
4 these half porches on College Street. The  
5 one-and-a-half-story plan gets very close. It  
6 has a little infill where the powder room is.  
7 And if we could get one of these designs to  
8 have a full front porch, we think that would be  
9 a great addition to the project.

10 So thank you very much.

11 THE CHAIRMAN: Thank you.

12 Is there anybody else here to speak on  
13 this COA?

14 AUDIENCE MEMBERS: (No response.)

15 THE CHAIRMAN: Seeing none, we'll close  
16 the public hearing, and I will entertain a  
17 motion.

18 COMMISSIONER LOPERA: I motion to approve  
19 COA-18-21064 with staff conditions.

20 COMMISSIONER KASPER: Second.

21 THE CHAIRMAN: All right. A motion is on  
22 the floor. So where do we want to start?

23 COMMISSIONER KASPER: Through the Chair,  
24 I'll start. I think what's important to  
25 consider and understand, that this is a unique

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1 Same thing -- I think Christian picked  
2 this up already, on the double entries on some  
3 of these side elevations. We don't have the  
4 floor plans or the final submittal, so we're  
5 concerned as to why there are two entryways  
6 that close together on the side elevation.

7 (Timer notification.)

8 MS. SCHIFANELLA: I'll just make a couple  
9 more points.

10 Generally on the materials, glad to know  
11 that the stack stone is not being considered.

12 I never feel like it's a good, appropriate  
13 move to start and stop materials, to turn the  
14 corner and just stop. So we would love to see  
15 the material wrap all the way around or go with  
16 the traditional siding down to the stem wall.

17 Shutters, we'd like -- we concur with  
18 staff on a more historically appropriate  
19 shutter. And also the scale of the shutter  
20 should be appropriate, meaning when the  
21 shutters could be closed, that they are the  
22 right dimension to do that, so not very narrow,  
23 but the -- half the width of the window  
24 opening.

25 And then the very last comment is,  
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1 parcel, that the assembled parcel is on the  
2 corner of a residential block or community,  
3 that there is industrial stuff across the  
4 street, there is commercial stuff. It actually  
5 was land use -- or is land use as commercial, I  
6 guess was zoned as commercial, switched to PUD.  
7 So it's not a single-family home lot.  
8 Therefore, it -- as we saw in the PUD, it could  
9 have been two giant blocks of multifamily just  
10 sitting there.

11 So, personally, I think this is a great  
12 solution for the corner. I think it provides  
13 density, which is nice for a growing community  
14 and city. I think they've done a good job of  
15 respecting College Street and the variety of  
16 elevations and the side driveways. I think it  
17 was generous that they opened up the corner for  
18 that -- it's not really a public park because  
19 it has a fence on it, but that kind of just  
20 open greenspace on the corner.

21 So for me, the rear units, rear houses can  
22 be different than the front houses and can have  
23 more of a density and a larger block and less  
24 space in between and the garages that face the  
25 alley. It's just a different mix because it's

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1 a different animal, this whole piece. And they  
2 focus on the courtyard.

3 So just to start off, I think I would  
4 agree with striking Condition Number 3, which  
5 would require the rear home to be subordinate  
6 to the front home because they're separate  
7 lots, because the homes focus on the courtyard.

8 And although they're -- staff is trying to  
9 make a connection to an entire single-family  
10 lot that goes from front to back, this is  
11 actually not that. It's a front lot and a rear  
12 lot with a courtyard. And so that front to  
13 courtyard -- the rear lots face the rear and  
14 the alley and, therefore, they can be  
15 different, which I think would also then strike  
16 Item Number 2 as well, that there would not be  
17 the requirement for a 20-foot setback between  
18 each structure.

19 Regarding Item Number 1, the 10-foot  
20 setback, I'm not sure how I feel on that one.

21 So I think what I -- well, let's have  
22 discussion.

23 MS. ELLER: Mr. Chair -- through the Chair  
24 to Commissioner Kasper, I believe Suggestion  
25 Number 2 would also be included -- if you

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1 strike Conditions 2 and 3, then Suggestion  
2 Number 2 would follow as well.

3 COMMISSIONER KASPER: Correct.

4 THE CHAIRMAN: That would be correct.

5 MS. ELLER: Thank you.

6 COMMISSIONER LOPERA: I agree with most of  
7 what Erik said. I think that -- as far as the  
8 work you guys have put into this, it's a year  
9 and a half, and I know you want this process to  
10 end soon, so I definitely understand that, and  
11 hopefully we can help you achieve your end  
12 goals. So thank you for taking the time to put  
13 the hard work in to presenting this for us.  
14 And thank you to the staff for the hard work  
15 that went into the report.

16 A couple of things. I agree that the  
17 properties in the back, they're going to be  
18 mostly covered up, and the only way you would  
19 see them is if you're actually driving through  
20 the alley. So I do agree that the density back  
21 there could be bigger, and so I agree with  
22 striking Conditions 2 and 3.

23 As far as the front setback goes, that's  
24 the only one that, you know, I would first see  
25 trying to keep, just because of allowing this

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1 area to continue to remain walkable.

2 And one thing that the lady -- I'm sorry,  
3 what was your name? From RAP.

4 MS. SCHIFANELLA: Angela.

5 COMMISSIONER LOPERA: Angela. And what  
6 was your --

7 MS. POWELL: Nancy.

8 COMMISSIONER LOPERA: Nancy. They  
9 mentioned a landscape plan. If you look on the  
10 overall site plan, you can see that this area  
11 has got trees all over the place. As a matter  
12 of fact, there's a survey going on for the  
13 Jacksonville area to determine shade coverage  
14 for the entire city, meaning that that's an  
15 important aspect of not only the city, but also  
16 this historical area. So that's one thing I  
17 would appreciate seeing in this COA.

18 And I also like the ability to add some  
19 rear parking spaces because as far as the  
20 landscaping in the back and the alley, really,  
21 like no one is actually going to see that and,  
22 you know, why spend time and money doing that  
23 when you can just add some concrete in there  
24 and create some additional spacing just because  
25 this area is going to become, you know, a

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1 heavily parked area, you know, with visitors  
2 and guests coming to visit the new 19  
3 properties that are going up in the area.

4 One thing that I did want to inquire  
5 about, as far as fire codes, in between getting  
6 too close to the property lines -- and maybe  
7 Erik might be able to speak on that as far as  
8 single-family homes. I know that there's a  
9 provision that I read about --

10 COMMISSIONER KASPER: I think it's similar  
11 to the parking issue before. These are going  
12 to have to go through the Building Department  
13 and get approval for that.

14 COMMISSIONER LOPERA: Okay. Then I'll  
15 leave it at that.

16 COMMISSIONER KASPER: They'll have to  
17 figure it out, so --

18 COMMISSIONER DAVIS: I mean, 11 feet  
19 between the houses is not atypical at all.

20 COMMISSIONER LOPERA: What's the back  
21 ones? It's the back ones. The back ones will  
22 be 6 feet from each other. And I know that  
23 once you get too close to a property line, I  
24 believe that that entire wall needs to be fire  
25 rated, which becomes a huge problem because

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1 it's -- you know, windows and everything.  
 2 But yeah, that doesn't have anything to do  
 3 with us, just a suggestion for the owner to  
 4 look into.  
 5 But other than that -- that's all.  
 6 COMMISSIONER DAVIS: Well, just as it  
 7 relates to the site issues, I totally agree  
 8 with you guys on Number 2 and 3. I think the  
 9 project is unique enough that it kind of has to  
 10 be treated totally different, although I -- I  
 11 understand the thinking on trying to put in a  
 12 box, and I think that, you know, you guys came  
 13 up with a good solution, but I just disagree  
 14 that it's totally applicable.  
 15 So I agree on striking 2 and 3.  
 16 Number 1, on the front, you know, the  
 17 thing I just kind of keep going back to is  
 18 that -- I mean, it's in the middle of  
 19 industrial, multifamily, single-family, and  
 20 commercial, and so it's hard to know how to  
 21 treat it.  
 22 And, you know, without really like a  
 23 playbook that we can kind of abide by, I think  
 24 we -- I think the right thing to do is offer  
 25 some level of deference to the applicant. I  
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1 think there's a strong argument that can be  
 2 made, based on the multifamily next door,  
 3 having a zero lot line on the front. So I  
 4 believe that the best thing to do is kind of  
 5 lead our way to some kind of a compromise on  
 6 it.  
 7 I think the shade trees are very  
 8 important. I would be reluctant to put some  
 9 sort of a stipulation on, like, protecting some  
 10 of the existing trees just because I think  
 11 we're -- I think that probably ends up being  
 12 more problematic than we think it would. But,  
 13 you know, if we could put some sort of a  
 14 stipulation on replacing those trees with other  
 15 shade trees in the right-of-way at whatever  
 16 given distance or -- you know, I think that  
 17 would ultimately lead to a good compromise on  
 18 the item.  
 19 So I would be inclined to strike Number 1  
 20 and replace it with some sort of language on  
 21 the shade trees.  
 22 THE CHAIRMAN: I'm in pretty much  
 23 agreeance with everything everybody said. I  
 24 think this is a unique project, to say the  
 25 least, and it's difficult to look at  
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1 single-family rules that we try to put in place  
 2 and try and place them here.  
 3 I've got to give credit to the applicant,  
 4 frankly, for, in my opinion, going above and  
 5 beyond to try and appease just about everything  
 6 that the staff asked. There's some points that  
 7 I -- frankly, I'm not sure I would have agreed  
 8 with, so I'll give credit to the applicant  
 9 there.  
 10 When it comes to the setback, I can  
 11 understand both points, but I'm more in  
 12 agreeance with Ryan to the fact that the  
 13 multifamily next door is at a zero setback and  
 14 you're across the street from industrial. So I  
 15 would be in favor of writing some sort of  
 16 agreement in there, whether that be -- whatever  
 17 we can come up with, but that's where my head's  
 18 at at this point.  
 19 COMMISSIONER BRAMWELL: I agree with  
 20 mainly what Ryan said so far, as far as Items  
 21 1, 2 and 3. And I also wouldn't be opposed to  
 22 changing Item 10 to clarify it's all structures  
 23 along College, common floor height no less than  
 24 18 inches. I think that that's what we've seen  
 25 in terms of these plans.  
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1 Do we want to just stick to these  
 2 conditions before we talk about the designs as  
 3 well or just kind of lay out everything?  
 4 THE CHAIRMAN: Yeah, if we get through  
 5 these first, we'll move on to the designs.  
 6 COMMISSIONER BRAMWELL: Well, I think  
 7 that's my thoughts on those.  
 8 COMMISSIONER KASPER: Well, then let's  
 9 discuss Ryan's possible -- I don't think it has  
 10 to be the full 10 feet. And the question is,  
 11 can the 5 feet work? What are we trying to do  
 12 on this street edge? We do want it to be,  
 13 quote, pedestrian friendly. Well, there's a  
 14 sidewalk on the right-of-way and there's access  
 15 for a pedestrian. There's a 5-foot distance  
 16 from that sidewalk to the house, which --  
 17 assuming we'll have some landscaping. So you  
 18 can still walk the street.  
 19 I believe Nancy's concern was that cars  
 20 park on the sidewalk. I don't know how you  
 21 control that. They have a driveway that runs  
 22 the full length of their house. So --  
 23 MS. POWELL: (Inaudible.)  
 24 THE CHAIRMAN: Nancy --  
 25 COMMISSIONER KASPER: So, Ryan, I'm not  
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1 sure how you could write in something else  
2 because there doesn't appear to be any place to  
3 put a tree unless, you know, maybe -- maybe you  
4 say the porch portion is as a 10-foot setback  
5 and you place the tree in front of the porch.  
6 I don't know. I'm sure that messes up the  
7 plan.

8 So what are we trying to do along that  
9 street edge? We're acknowledging that this is  
10 a dense project. I think we should not forget  
11 that it's a courtyard project and there are  
12 shade trees and courtyard and landscaping  
13 internal, which is not normal.

14 THE CHAIRMAN: Guys --

15 MS. POWELL: We're trying to figure out  
16 how big the right-of-way is.

17 THE CHAIRMAN: That's fine. I need you to  
18 go outside if you're having a conversation.

19 MS. POWELL: Okay. Sorry.

20 COMMISSIONER KASPER: So what are we  
21 trying to accomplish with this -- once it's  
22 fully built, what do we want that street edge  
23 on College to look like? And so we need to --

24 I think we need to answer the question,  
25 will it look -- will it be acceptable the way

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1 it is now? That you have a sidewalk, there's a  
2 little bit of greenspace, there's a curb, and  
3 then there's this road. You have a sidewalk,  
4 and then there's a 5-foot piece of greenspace,  
5 and then there's a house, and then there's a  
6 driveway every 36 feet. So is that an  
7 acceptable, walkable, pedestrian-friendly --

8 THE CHAIRMAN: So, frankly, for me, I'm  
9 fine with this as is. It's across from  
10 industrial. I think it's fine.

11 COMMISSIONER KASPER: Okay.

12 COMMISSIONER DAVIS: I agree. I think,  
13 you know, as a bare minimum, the way it is, I  
14 would be fine with it. I guess I would put  
15 adding trees or anything like that in the --  
16 more in the context of these would be nice  
17 suggestions. But given the area that it's in,  
18 I think that we would maybe be exceeding our  
19 scope if we mandated anything past that.

20 COMMISSIONER KASPER: Okay. So I'm good  
21 with striking Number 1 and changing it to -- I  
22 guess we change it to 5 foot so we -- at least  
23 that's something.

24 COMMISSIONER DAVIS: Well, we just strike  
25 it.

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1 COMMISSIONER LOPERA: Five feet is what  
2 the clients recommended, so -- and I'm okay  
3 with striking it as well, and then providing  
4 something about, you know, adding some shade  
5 trees as a suggestion rather than proposing it  
6 because that is outside of the scope of this  
7 commission.

8 COMMISSIONER KASPER: Okay. I think we've  
9 made --

10 COMMISSIONER LOPERA: Although I did have  
11 a -- Number 10, all structures should have a  
12 common floor height of no less than 24 inches  
13 on College Street -- and the only -- and,  
14 again, as a suggestion, to the builders and  
15 architects here, it's going to create an issue  
16 with anything that you run below your house,  
17 including plumbing and electrical, because  
18 now -- once you get floor joists in there, if  
19 that's at 18 inches above ground, the finished  
20 floor height, you put a 2-by-8 floor joist down  
21 there, they've got 10 inches to get below  
22 there, so --

23 COMMISSIONER KASPER: I think he's doing a  
24 stem wall -- filling it in with dirt and then  
25 doing a stem wall.

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1 COMMISSIONER LOPERA: Okay. Oh, I see. I  
2 see.

3 COMMISSIONER DAVIS: And it would apply to  
4 all the houses on the river also. I mean, I  
5 know they've got garages, but the finished  
6 floor would still be a three-course stem wall.

7 COMMISSIONER LOPERA: The finished floor  
8 on the back properties would all be on grade.

9 COMMISSIONER KASPER: No.

10 COMMISSIONER DAVIS: No.

11 COMMISSIONER BRAMWELL: The garage would  
12 be on grade, but you could step up to the  
13 house.

14 COMMISSIONER LOPERA: Oh, I see.

15 MR. POPOLI: Through the Chair, our  
16 concern was the College Street elevations being  
17 at least 24 inches, and the reason for that is,  
18 one, we never as a -- or as a body you never  
19 approved anything less than that. And the  
20 design regulations generally refer to 30 to 36  
21 as the average for the district. So 18 is  
22 probably the lowest anywhere if you approve it  
23 that way. So it is setting a substantial  
24 precedent for new construction, and then we  
25 have to --

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1 (Simultaneous speaking.)  
 2 COMMISSIONER DAVIS: There are  
 3 three-quarter stem walls all over the  
 4 neighborhood.  
 5 MR. POPOLI: The conditions that we apply  
 6 have a specific height related to the adjacent  
 7 structures. If something is built other than  
 8 that, that would be an enforcement issue for  
 9 the Building Department, but ultimately the  
 10 conditions that we've put in place have been --  
 11 I can't think of one that's been less than  
 12 24 inches. If they've been built that way,  
 13 that's technically outside of the COA.  
 14 COMMISSIONER DAVIS: Well, none of them --  
 15 I mean, at least as long as I've been on the  
 16 Commission, been involved with it, very few of  
 17 them read like a specific floor height. It's  
 18 always match the neighboring structures within  
 19 six inches.  
 20 MR. POPOLI: Right. And what I would say  
 21 is, normally that's going to be much higher  
 22 than 18 inches; 24, probably higher than that  
 23 as well.  
 24 COMMISSIONER LOPERA: Do we know what the  
 25 height is for the building next door?  
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1 appear as single-family, but that's a hard one.  
 2 COMMISSIONER BRAMWELL: I think, normally,  
 3 when we're required to be within 6 inches of  
 4 the neighboring structures, we're wanting  
 5 consistency to the neighboring structures. So  
 6 here, that is all of these. Otherwise, you  
 7 have streets breaking them off from whatever is  
 8 next door, and this neighboring structure over  
 9 here is a multifamily apartment building.  
 10 So I guess, you know, when we say this  
 11 will establish a precedent, I don't see it that  
 12 way. It's not a body that acts on precedent,  
 13 so we could make decisions based on the facts  
 14 and circumstances at the time.  
 15 COMMISSIONER LOPERA: Although we could  
 16 add it as, you know, basically why -- is it the  
 17 fact that it was originally zoned for 24  
 18 single-family units and now it's going down to  
 19 19? And the fact that it's, you know, an RMD,  
 20 residential medium density, area. And it's  
 21 stand-alone, whereas the property next door  
 22 is, you know, a big apartment building, and  
 23 then across the street you have an industrial  
 24 building.  
 25 So based on the area it's at, it's  
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1 MR. POPOLI: Which building?  
 2 COMMISSIONER LOPERA: I guess there's a  
 3 multifamily or something next door, an  
 4 apartment building.  
 5 MR. POPOLI: Well, I mean, that's -- I  
 6 don't know, but that's a very different  
 7 architectural design, so I don't know that it  
 8 would apply.  
 9 Anyway, that was our intent at least.  
 10 COMMISSIONER LOPERA: Good point. Thank  
 11 you, Christian.  
 12 COMMISSIONER DAVIS: I mean, I would tend  
 13 to agree with Tim. I think that what we're  
 14 trying to achieve is creating the appearance of  
 15 a structure that's built off grade and in a  
 16 traditional manner. And, I mean, I think a  
 17 three-course stem wall, 18 inches accomplishes  
 18 that, especially in the situation of not having  
 19 an adjacent structure to pull off of.  
 20 COMMISSIONER KASPER: Yeah. I think the  
 21 only way that it does work is that this is a  
 22 different block. This is almost like a  
 23 multifamily block. This is a dense  
 24 single-family residential block of homes and  
 25 we're attempting to do all we can to make them  
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1 really -- there's not much around it. So, you  
 2 know, that could be just evidence that we could  
 3 use for this particular case so that we don't  
 4 look at setting a precedent for something in  
 5 the middle of Riverside with, you know, 50  
 6 houses all at the same heights around it.  
 7 They're all at 30 inches above grade.  
 8 THE CHAIRMAN: This is a very different  
 9 sort of project.  
 10 COMMISSIONER LOPERA: I'm okay with  
 11 striking 10 as well and changing it to  
 12 18 inches.  
 13 THE CHAIRMAN: All right. As far as the  
 14 general requests, slash, recommendations, does  
 15 anybody else have anything?  
 16 COMMISSIONER KASPER: Through the Chair,  
 17 just back to the brick, I personally like the  
 18 brick elevation. I understand how  
 19 historically -- or even we don't like to see  
 20 brick on the front and then it stops. I would,  
 21 personally, in that courtyard -- which I'm  
 22 assuming this brick is on the rear -- on the  
 23 rear elevations?  
 24 MR. SIFAKIS: It's on both.  
 25 COMMISSIONER KASPER: It's on both.  
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1 I would offer that if the brick is applied  
2 to the rear elevation and it's one of the  
3 internal homes, meaning not the home on Willow  
4 Branch or the home on Rubel, that the brick  
5 could just be on the front and then return  
6 4 feet, with the reasoning that those houses  
7 are tied together. You may not see that entire  
8 thing. And it would be nice to have some brick  
9 on that courtyard.

10 So the modification would be offering  
11 brick on the rear houses, internal lots, to  
12 return just 4 feet on the sides.

13 COMMISSIONER LOPERA: Is that a suggestion  
14 or are you wanting to modify --

15 COMMISSIONER KASPER: I want to modify the  
16 condition that said if you're going to use  
17 brick, it has to go all the way around because  
18 what the applicant is stating is that he wants  
19 the option not to do it, which the reality is  
20 he's not going to do it, so we're not going to  
21 have any brick anywhere.

22 MS. ELLER: Mr. Chair.

23 THE CHAIRMAN: Yes.

24 MS. ELLER: My suggestion would be to  
25 entertain a motion on the modifications to the  
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1 one commissioner about whether a condition to  
2 allow the rear parking spaces as an option.  
3 And I believe that is all I have on the  
4 discussion of modifications to the general  
5 conditions before we get to the elevations.

6 THE CHAIRMAN: Thank you.

7 What are the thoughts on the rear parking?

8 COMMISSIONER KASPER: Where is that on  
9 the -- is that a condition?

10 COMMISSIONER LOPERA: It's a suggestion.  
11 It's Number 3, so it's --

12 COMMISSIONER KASPER: We really don't have  
13 to address it.

14 MS. ELLER: My question was whether or not  
15 you wanted to move it into a condition as  
16 opposed to a suggestion based upon the offer  
17 made by the applicant. So that was my only  
18 other note that I had on a potential condition.

19 COMMISSIONER KASPER: I don't think so.

20 THE CHAIRMAN: No. We don't want to.

21 Okay. So I would --

22 COMMISSIONER KASPER: Okay. I will make a  
23 motion to amend the staff conditions by  
24 striking Item 1 and not requiring the 10-foot  
25 setback; striking Condition 2 and not requiring  
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1 general conditions and suggestions, and then we  
2 could move on to the elevations since there are  
3 other housekeeping matters regarding adopting  
4 the addendum elevations and other things like  
5 that. And this condition regarding the brick I  
6 have listed with the elevations bucket.

7 So for the general conditions, what I have  
8 heard so far from the Commission is, there is a  
9 census on addressing item Number 1 as either  
10 striking it or amending to strike 10 in place  
11 of the 5. I've heard both those suggestions.

12 I've heard consensus to strike 2 and 3,  
13 and then leading from that would be to strike  
14 Suggestion 2 as well.

15 And then on Condition 10, modifying 24 to  
16 18. I heard that, as well as strike it  
17 altogether, but I heard both of those options  
18 offered.

19 So a motion to modify the general  
20 conditions may work and then we could move on  
21 to the details in the elevations.

22 The only other thing I would offer is  
23 that, there has been no discussion on the  
24 general conditions that were offered by the  
25 applicant on -- other than a mention of it by

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1 an average 20 foot between structures; and  
2 striking Item 3, not requiring the front home  
3 to be wider than the rear home.

4 COMMISSIONER LOPERA: Well, you still want  
5 the front setback to be 5 feet per what they  
6 added on there, right?

7 COMMISSIONER KASPER: Do I have to state  
8 that if that's already what they asked for?

9 COMMISSIONER LOPERA: I believe so.

10 COMMISSIONER KASPER: The condition is  
11 changing what they've requested. They've  
12 already requested five.

13 COMMISSIONER LOPERA: Oh, I see.

14 COMMISSIONER KASPER: So by saying  
15 nothing --

16 COMMISSIONER LOPERA: Okay.

17 COMMISSIONER KASPER: -- they get the  
18 five.

19 COMMISSIONER LOPERA: Okay.

20 COMMISSIONER KASPER: And then modifying  
21 Condition 10 for all structures to have a  
22 common floor of no less than 18 inches above  
23 grade.

24 MS. ELLER: Is that on College Street or  
25 for all?

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1 COMMISSIONER KASPER: I'm sorry, that is  
 2 for all, period, garage, floor can be at or  
 3 near grade.  
 4 MS. ELLER: Also, does the motion include  
 5 striking Suggestion 2, which would flow from  
 6 striking 1, 2 and 3 of the conditions?  
 7 COMMISSIONER KASPER: That's fine.  
 8 THE CHAIRMAN: Do I have a second for  
 9 that?  
 10 COMMISSIONER LOPERA: Second.  
 11 THE CHAIRMAN: All those in favor?  
 12 COMMISSION MEMBERS: Aye.  
 13 THE CHAIRMAN: Those opposed?  
 14 COMMISSION MEMBERS: (No response.)  
 15 THE CHAIRMAN: We now have an amended  
 16 motion on the floor.  
 17 And all those in favor?  
 18 COMMISSION MEMBERS: Aye.  
 19 THE CHAIRMAN: Those opposed?  
 20 COMMISSION MEMBERS: (No response.)  
 21 THE CHAIRMAN: Hearing none, you have  
 22 passed the amended motion.  
 23 MS. ELLER: And now, Mr. Chair, my  
 24 suggestion would be to go through the elevation  
 25 changes, adopt the addendum as presented.  
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1 MS. ELLER: As previously amended.  
 2 COMMISSIONER LOPERA: As previously  
 3 amended.  
 4 MS. ELLER: For further amendment.  
 5 COMMISSIONER LOPERA: For further  
 6 amendment.  
 7 COMMISSIONER DAVIS: Second.  
 8 THE CHAIRMAN: All right.  
 9 COMMISSIONER BRAMWELL: I wanted to kind  
 10 of work out the language on the beltline,  
 11 shake, shingle siding thing. I feel like we  
 12 can just use one consistent sentence across all  
 13 of them.  
 14 And I guess, through the Chair, question  
 15 to staff. As far as what is the most prevalent  
 16 in the district, the beltlines, are they in  
 17 line with the bottom -- the second story window  
 18 in line with the bottom sill or in line with  
 19 the change or -- what's it called? The  
 20 floor -- what would the term be, floor divide?  
 21 Or is it kind of anywhere in between?  
 22 MR. POPOLI: I don't know what's more  
 23 common. I would say you see both. Probably  
 24 the change in elevation would be more common.  
 25 The floor plate versus the window sill.  
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1 THE CHAIRMAN: So do I need another motion  
 2 on the floor?  
 3 MS. ELLER: My suggestion would be that we  
 4 would treat it as a second amendment and we  
 5 could roll them all in together as one  
 6 amendment to the original motion.  
 7 THE CHAIRMAN: I see.  
 8 COMMISSIONER KASPER: It's an amendment to  
 9 what we just passed?  
 10 THE CHAIRMAN: Yeah. So --  
 11 MS. ELLER: My suggestion would be, since  
 12 we amended -- since we moved the bill with the  
 13 conditions that were offered by the staff and  
 14 then amended the general conditions and then  
 15 you went ahead and took a vote on the motion as  
 16 amended, if you would please just move the item  
 17 again for it to get onto the floor for  
 18 discussion because we need to do further  
 19 amendments regarding the elevations.  
 20 THE CHAIRMAN: Okay.  
 21 MS. ELLER: That was my fault for not  
 22 jumping in on the --  
 23 THE CHAIRMAN: Not a problem.  
 24 COMMISSIONER LOPERA: I make a motion to  
 25 approve with conditions COA-18-21064.  
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1 This (indicating). Would it be more common for  
 2 it to be at the floor plate or at the bottom of  
 3 the window sill?  
 4 MS. SHEPPARD: I think the bottom of the  
 5 window sill.  
 6 MR. POPOLI: There you go.  
 7 COMMISSIONER BRAMWELL: I guess what I'm  
 8 concerned about is -- a lot of the concern is  
 9 the variety of these, and that's -- the way  
 10 it's worded, we're going to end up with all of  
 11 these beltlines all on the same line, and it  
 12 would be better if we provided some -- a little  
 13 bit more flexibility in this as to where the  
 14 beltline ends up.  
 15 And I will read out what I had and see if  
 16 folks think it works, but -- the beltline and  
 17 shake shingle siding shall be applied at the  
 18 same height of each elevation at or below the  
 19 lower sill of the upper story windows.  
 20 I have one thought here, was that you  
 21 could do -- or at or above the upper sill of  
 22 the first story windows, but it sounds like  
 23 that's not the case, so don't do that.  
 24 And then not dividing a window mid sash.  
 25 So that -- and then -- sorry, I actually  
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1 wrote this on a separate page. I'll read it  
 2 again.  
 3 To add in the option about the floor  
 4 divide as well, yeah. So "or along the floor  
 5 divide" after you say "not at the mid sash."  
 6 So just to do it -- it would be the  
 7 beltline and shake shingle siding shall be  
 8 applied at the same height of each elevation at  
 9 or below the lower sill of the upper story  
 10 windows, not dividing a window mid-sash or  
 11 along the floor divide.  
 12 And then sort of a similar thing as far as  
 13 the brickwork along the bottom, having that to  
 14 be one consistent condition that's -- you can  
 15 have the stone below the lower sill of the  
 16 first story windows or at the floor divide as  
 17 well so that there is some consistency there  
 18 with the rest of the district, but that there  
 19 can be more variety between these structures as  
 20 well.  
 21 COMMISSIONER KASPER: That would be brick.  
 22 COMMISSIONER BRAMWELL: Oh, yes. Right.  
 23 COMMISSIONER KASPER: Through the Chair, I  
 24 would say that's good.  
 25 I would add, because I think the applicant  
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1 requested cedar shake, board and batten, or lap  
 2 siding.  
 3 COMMISSIONER BRAMWELL: True.  
 4 THE CHAIRMAN: I like that.  
 5 MS. ELLER: And, Mr. Chair, since these  
 6 are complex conditions, if you would like to  
 7 entertain a motion on each one as we craft it,  
 8 that's fine, and ultimately it will all be  
 9 wrapped up into one amendment at the end. You  
 10 may do that.  
 11 THE CHAIRMAN: It would probably be  
 12 easier.  
 13 MS. ELLER: So each time a condition is  
 14 sort of finalized, the presenter commissioner  
 15 could move to approve the condition as stated  
 16 as an amendment and pass each amendment.  
 17 COMMISSIONER KASPER: I'm fine with what  
 18 staff has recommended. I personally don't need  
 19 or want to change what staff is recommending.  
 20 COMMISSIONER DAVIS: Agreed.  
 21 THE CHAIRMAN: I'm in agreeance.  
 22 Yeah, we can --  
 23 COMMISSIONER DAVIS: Hold on. Andres is  
 24 thinking.  
 25 COMMISSIONER LOPERA: Well, I'm wondering  
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1 if that was a staff condition to be able to  
 2 allow them to use board and batten, Hardie lap  
 3 siding or the shingle, that we could just --  
 4 I'm trying to find that condition so we can  
 5 just strike it --  
 6 COMMISSIONER KASPER: Tim rewrote it here  
 7 as Number 1. Exactly what Tim said, except for  
 8 we're saying shake shingle, comma, board and  
 9 batten, comma, lap siding shall be applied --  
 10 blah, blah, blah.  
 11 COMMISSIONER LOPERA: Okay. So just  
 12 adding --  
 13 COMMISSIONER KASPER: The siding options.  
 14 COMMISSIONER LOPERA: -- the siding  
 15 options, yeah. Okay.  
 16 THE CHAIRMAN: So do we have that --  
 17 COMMISSIONER LOPERA: I'd like to make a  
 18 motion to --  
 19 COMMISSIONER BRAMWELL: Do you want me to  
 20 do it?  
 21 COMMISSIONER LOPERA: Go ahead.  
 22 COMMISSIONER BRAMWELL: I'll make a  
 23 modification to Condition Number 1 for all the  
 24 designs so that it reads, the beltline and  
 25 shake shingle siding shall be applied at the  
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1 same height of each elevation at or below the  
 2 lower sill of the upper story windows -- I  
 3 screwed this up already because I left out  
 4 the -- sorry.  
 5 So the beltline and shake shingle siding,  
 6 board and batten siding, or lap siding shall be  
 7 applied at the same height of each elevation at  
 8 or below the lower sill of the upper story  
 9 windows, not dividing a window mid sash or at  
 10 the floor divide.  
 11 COMMISSIONER LOPERA: I second.  
 12 THE CHAIRMAN: All those in favor?  
 13 COMMISSION MEMBERS: Aye.  
 14 THE CHAIRMAN: Those opposed?  
 15 COMMISSION MEMBERS: (No response.)  
 16 THE CHAIRMAN: Hearing none, you have  
 17 passed the amendment.  
 18 COMMISSIONER KASPER: Passed the  
 19 modification.  
 20 MS. ELLER: Passed the modification of  
 21 Item 1.  
 22 And so then, Mr. Chair, what I'm hearing  
 23 from the group is that a motion would be proper  
 24 to adopt the remaining elevation conditions as  
 25 presented by the staff as modified by the list  
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1 I previously read where we cleaned up and made  
2 consistent the different conditions.

3 And then the only other thing I would ask  
4 is that you include the official adoption of  
5 the addendum submission elevations because  
6 those were not part of the staff report  
7 presentation with these conditions. They were  
8 a separate presentation. So officially adopt  
9 the addendum elevations with the addition of  
10 the two elevations for the  
11 one-and-a-half-story, and then clarifying which  
12 elevations are the options for College Street  
13 versus which elevations are the options for  
14 the -- what we're calling the alley or back row  
15 because I didn't see that clearly listed on our  
16 documentation.

17 THE CHAIRMAN: Okay.

18 MS. ELLER: I can say it again if you want  
19 me to.

20 THE CHAIRMAN: Yeah.

21 MS. ELLER: The items that I've  
22 identifying as remaining from my notes are the  
23 remainder of the elevation conditions as the  
24 staff presented, as modified by the changes I  
25 read into the record previously, which, in

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1 I'll leave it at that.

2 MS. ELLER: Thank you, Mr. Chair.

3 And then the other housekeeping items I  
4 have are a motion to officially adopt the  
5 addendum elevations as presented since those  
6 were different from the elevations presented  
7 attached to the staff conditions, including the  
8 addition of the two one-and-a-half-story  
9 elevations, which we'll call them K and L once  
10 we include them with the list.

11 And then a clarification of which  
12 elevations would be the options for the College  
13 Street frontage versus the elevations that  
14 would be the options for what we're calling the  
15 alley front of the back row.

16 THE CHAIRMAN: So I will take a motion to  
17 adopt the addendum, and also take a motion --  
18 actually, you can tie it into the same motion  
19 to adopt the two one-and-a-half-story  
20 elevations, and then we'll go to the  
21 clarification with College Street.

22 COMMISSIONER KASPER: I make a motion to  
23 adopt the addendum and the two  
24 one-and-a-half-story elevations.

25 COMMISSIONER LOPERA: Second.

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1 essence, made consistent some inconsistencies  
2 we identified and removed conditions that would  
3 not be appropriate for a specific elevation,  
4 like a railing.

5 THE CHAIRMAN: So I need a motion for  
6 that, correct?

7 MS. ELLER: My suggestion would be a  
8 motion to approve the remaining elevation  
9 conditions as modified. And then there are a  
10 few other housekeeping items, if you would like  
11 to take those separately, we can do that.

12 THE CHAIRMAN: Let's go ahead and get that  
13 one out of the way. So I'll take a motion on  
14 the rest of the staff conditions.

15 COMMISSIONER KASPER: Tim, you're closer  
16 to Shannon.

17 COMMISSIONER BRAMWELL: All right. A  
18 motion to approve the conditions -- staff  
19 conditions for the designs as modified.

20 COMMISSIONER DAVIS: Second.

21 THE CHAIRMAN: All those in favor?

22 COMMISSION MEMBERS: Aye.

23 THE CHAIRMAN: Those opposed?

24 COMMISSION MEMBERS: (No response.)

25 THE CHAIRMAN: You have passed the motion.

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1 THE CHAIRMAN: All those in favor?

2 COMMISSION MEMBERS: Aye.

3 THE CHAIRMAN: Those opposed?

4 COMMISSION MEMBERS: (No response.)

5 THE CHAIRMAN: Hearing none, you've  
6 adopted the addendum.

7 And then I need a clarification for  
8 College Street. And I don't know if we really  
9 talked about that.

10 MS. ELLER: The reason why I was raising  
11 it as an issue is because the applicant stated  
12 that there were eight different elevations for  
13 the nine choices on College Street, and I  
14 didn't see anywhere in the documentation if we  
15 had -- if the Commission -- it's the will of  
16 the Commission to choose that at this point or  
17 if you wanted them all to be available. I was  
18 just confused by that.

19 COMMISSIONER KASPER: I think we can go  
20 ahead and identify them. Staff may already  
21 know.

22 MR. POPOLI: Through the Chair, they are  
23 the ones with the garages, but there are four  
24 presented in the addendum. I'll just read them  
25 off for you. It is the 1805 Prairie, the 1805

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1 Craftsman, the 1825 Prairie, and the 1825  
 2 Craftsman. These would be the rear lots not on  
 3 the College Street options.  
 4 MS. ELLER: Thank you for the  
 5 clarification.  
 6 THE CHAIRMAN: No problem.  
 7 So where do I go from here?  
 8 MS. ELLER: Now that the clarifications  
 9 are made on the record, I don't think it is  
 10 necessary for you to entertain a motion to  
 11 amend anything to identify the options that are  
 12 on College Street and not on College Street.  
 13 THE CHAIRMAN: Okay.  
 14 MS. ELLER: I'm reviewing back through my  
 15 notes to see if there was anything else that  
 16 has not been addressed.  
 17 The only other item I see was whether or  
 18 not you wanted to add an additional condition  
 19 in the elevation conditions regarding the  
 20 coverings on the double doors. That was the  
 21 only other thing that was not in here that had  
 22 been discussed amongst the group.  
 23 MR. POPOLI: Through the Chair, we had  
 24 talked about -- and I think RAP had made a  
 25 comment. I believe it's only on the College  
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1 Street elevations, but they all seem to have  
 2 two side entrances. And that's atypical for  
 3 the district, specifically with one having a  
 4 stoop covering and the other one not.  
 5 The suggestion I had made was that  
 6 either -- probably the simplest thing is just  
 7 to have one entrance and have that be the  
 8 covered one, but they had presented the option  
 9 of either doing both covered or just one.  
 10 COMMISSIONER DAVIS: They're storage  
 11 closets, aren't they?  
 12 MR. POPOLI: I don't know. I didn't get  
 13 into that level of detail on the floor plans.  
 14 COMMISSIONER KASPER: Through the Chair,  
 15 could we request the applicant to explain why  
 16 there's two doors?  
 17 THE CHAIRMAN: Alex.  
 18 (Mr. Sifakis approaches the podium.)  
 19 MR. SIFAKIS: We're talking about the  
 20 1791? Yeah, I do believe they're storage.  
 21 MR. POPOLI: Through the Chair, it appears  
 22 to be basically all of the College Street  
 23 elevations, not just the 1791.  
 24 THE CHAIRMAN: Okay.  
 25 MR. SIFAKIS: Yeah, it's an exterior  
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1 storage. Since those units didn't have a  
 2 garage, we thought it was very beneficial to  
 3 have some exterior storage for girls' bikes,  
 4 whatever. So that's why that door is there.  
 5 THE CHAIRMAN: All right. Thank you.  
 6 COMMISSIONER KASPER: So through the  
 7 Chair, assuming those doors are necessary,  
 8 staff's recommendation is to have a little  
 9 covering over both doors?  
 10 MR. POPOLI: I think they should be  
 11 consistent.  
 12 COMMISSIONER KASPER: Okay.  
 13 THE CHAIRMAN: I'm fine with it.  
 14 COMMISSIONER KASPER: So add a condition  
 15 to all the elevations on College Street that  
 16 have two side doors, that both side doors  
 17 should have a covering, a small roof, awning.  
 18 COMMISSIONER BRAMWELL: Or not.  
 19 COMMISSIONER KASPER: Or both not, that  
 20 they would be consistent.  
 21 Did I say "motion"? That was a motion.  
 22 COMMISSIONER BRAMWELL: Second.  
 23 THE CHAIRMAN: All those in favor?  
 24 COMMISSION MEMBERS: Aye.  
 25 THE CHAIRMAN: Those opposed?  
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1 COMMISSION MEMBERS: (No response.)  
 2 THE CHAIRMAN: Hearing none, you passed  
 3 that motion.  
 4 MS. ELLER: Thank you, Mr. Chair.  
 5 And my recommendation would be to move the  
 6 COA as all amended. That way we can encompass  
 7 everything we had previously discussed, plus  
 8 all the amendments recently discussed.  
 9 THE CHAIRMAN: Okay. I would move to move  
 10 COA-18-21064 as amended.  
 11 All in favor?  
 12 COMMISSION MEMBERS: Aye.  
 13 THE CHAIRMAN: Those opposed?  
 14 COMMISSION MEMBERS: (No response.)  
 15 THE CHAIRMAN: Hearing none, you have  
 16 passed COA-18-21064.  
 17 We will move right along. Christian, I  
 18 believe we have some other stuff to do, yes?  
 19 MR. POPOLI: Yes.  
 20 THE CHAIRMAN: We will now go into  
 21 New Business. We've got some road renamings to  
 22 tend to.  
 23 MR. POPOLI: Through the Chair, under  
 24 New Business you have three road renaming  
 25 requests. We've done a few of these to date,  
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1 so you're at least aware of what they are.  
 2 So basically the concept for these is  
 3 we're reviewing a request for a name change  
 4 based on whether or not there's any historic  
 5 context that might be lost if the name is  
 6 changed.  
 7 The first one is for a portion of what is  
 8 known as R.G. Skinner Parkway, and the request  
 9 would be to change it to E-Town Parkway.  
 10 Currently, R.G. Skinner Parkway or E-town  
 11 Parkway, because it's named -- currently, the  
 12 length of the proposed road which has not been  
 13 constructed has both names. A portion is the  
 14 E-Town Parkway and a portion is the R.G.  
 15 Skinner Parkway. This request is to make the  
 16 entire length consistent as E-Town Parkway.  
 17 Again, the road is not constructed, so it  
 18 is a proposed road segment that would be  
 19 changed. Since it's a newly platted road it  
 20 has no history associated with it other than  
 21 the plat that was originally proposed, so  
 22 there's no -- it doesn't occur anywhere else,  
 23 it's not tied to any historic plat, it's not  
 24 tied to any historic person, so we're  
 25 recommending approval because there's no impact

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1 public. So this request is to rename Gillen  
 2 Street to Cecil Wiggins Street.  
 3 A little bit of background: You're  
 4 charged with reviewing the history on these  
 5 names as part of an ordinance that goes before  
 6 City Council to officially change the name.  
 7 That is Chapter 745. In that chapter, there  
 8 are a lot of provisions that have to be gone  
 9 through by council that relate to people who  
 10 front on the road and their claim to the name  
 11 of the road, how they would be impacted.  
 12 Based on a conversation I had with Ellen  
 13 Fales who's with the addressing section in  
 14 Development Services, this particular request  
 15 is at the behest of a City Councilperson and  
 16 they are asking the council to waive these  
 17 requirements.  
 18 So none of this actually relates to what  
 19 you guys do, but it's just informational.  
 20 The e-mail that I've handed out has some  
 21 specifically called-out in capital letters  
 22 language that actually comes from the  
 23 ordinance, and they are responding to that  
 24 information related to their standing in the  
 25 ordinance. The provisions for that have been

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1 on any actual history.  
 2 THE CHAIRMAN: Okay. Do I need to open  
 3 public comment for this?  
 4 MS. ELLER: No. Your commission is not  
 5 charged with having a public hearing on this  
 6 matter.  
 7 THE CHAIRMAN: All right. Does anybody  
 8 have an issue with R.G. to E-town?  
 9 COMMISSIONER KASPER: Is it a motion?  
 10 MS. ELLER: Yes. I think a motion would  
 11 be appropriate.  
 12 COMMISSIONER KASPER: I make a motion to  
 13 approve the road renaming of R.G. Skinner to  
 14 E-Town Parkway.  
 15 COMMISSIONER LOPERA: I second.  
 16 THE CHAIRMAN: All those in favor?  
 17 COMMISSION MEMBERS: Aye.  
 18 THE CHAIRMAN: Those opposed?  
 19 COMMISSION MEMBERS: (No response.)  
 20 THE CHAIRMAN: Hearing none, it is now  
 21 E-town.  
 22 All right. Road renaming Number 2.  
 23 COMMISSIONER LOPERA: Does this come from  
 24 the public or from you, Christian?  
 25 MR. POPOLI: This is an e-mail from the

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1 waived, but the point that's raised is relevant  
 2 to your discussion, at least in concept.  
 3 Our research indicates that Gillen Road  
 4 was originally platted as Drew Street. And at  
 5 some point in its history, the name was changed  
 6 to Gillen Street. In our records through  
 7 Public Works in our archives, we have no  
 8 evidence of when this took place or what the  
 9 reasons were.  
 10 The e-mail that you have has stated a case  
 11 that the road name was changed in relation to  
 12 the author of the e-mail. I believe it was his  
 13 grandfather. And the road was actually named  
 14 for that person. Again, we have no evidence to  
 15 support that other than this statement. He  
 16 didn't provide any evidence. I had asked  
 17 Ms. Fales to request any documentation he may  
 18 have had. I never received any.  
 19 But it is, I think, worth bringing to your  
 20 attention that this is a point that has been  
 21 raised. Again, our records don't support that.  
 22 We don't have any evidence of who the gentleman  
 23 was or his historic significance. He may have  
 24 just been someone who lived on the road.  
 25 But based on our research, we feel that

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1 the renaming is fine, it doesn't affect any  
 2 history that we were able to uncover, so we're  
 3 recommending approval.  
 4 COMMISSIONER DAVIS: What about the things  
 5 that he says about -- are those really  
 6 requirements, the person has to have been  
 7 deceased and -- are you saying those were  
 8 already waived by somebody else?  
 9 MR. POPOLI: Well, the request is to waive  
 10 them when the ordinance goes to City Council.  
 11 And it would take a two-thirds vote according  
 12 to the council, according to the research  
 13 Ms. Fales gave us. So if the council chose to  
 14 do that and chose to pass it that way, then  
 15 this argument wouldn't be brought up as a  
 16 relevant argument on the floor. I'm getting a  
 17 lot of nods, so I think I'm getting it right.  
 18 MS. ELLER: Yes. To the Commission, I  
 19 pulled up the criteria for the Historic  
 20 Preservation Commission's review. The origin  
 21 of the street name, as your staff has already  
 22 provided; any historic significance of the  
 23 existing street name; whether there are  
 24 historic structures or landmarks on the street;  
 25 whether the existing street name is part of a  
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1 common theme of street names throughout a  
 2 community, like a 1st, 2nd, 3rd type thing; the  
 3 age of the street name; whether the street name  
 4 is a duplicate street name. So those are the  
 5 charges to the Historic Preservation Commission  
 6 pursuant to Chapter 745.  
 7 COMMISSIONER LOPERA: Thank you.  
 8 COMMISSIONER DAVIS: So none of these  
 9 things really should weigh on our --  
 10 MR. POPOLI: No. It was simply the matter  
 11 that he was addressing the history of the name  
 12 that we wanted to bring to your attention, but  
 13 I have nothing in the way of evidence to  
 14 support it other than the e-mail.  
 15 COMMISSIONER DAVIS: But the e-mail is in  
 16 writing.  
 17 MR. POPOLI: That is true.  
 18 COMMISSIONER BRAMWELL: And council --  
 19 procedurally, if we approve it, then it goes on  
 20 to City Council. If we deny it, then --  
 21 MS. ELLER: Yes. The requirement is that  
 22 the Historic Preservation Commission provide a  
 23 report. That is included with the other  
 24 reports that go forward to be considered by the  
 25 City Council, as well as the individual council  
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1 committee.  
 2 Ultimately, the City Council holds two  
 3 public hearings and is the decider based upon  
 4 additional criteria beyond the historic review  
 5 that's assigned to this commission.  
 6 COMMISSIONER BRAMWELL: It goes to them  
 7 regardless?  
 8 MS. ELLER: Correct.  
 9 COMMISSIONER BRAMWELL: Okay.  
 10 COMMISSIONER KASPER: So as a commission,  
 11 based on staff, we're saying that there's no  
 12 historic significance to this name and,  
 13 therefore, we're allowing it to change?  
 14 MR. POPOLI: Based on our research, we're  
 15 confident that the name change happened post  
 16 war, so it's really not what we would consider  
 17 to be historically significant.  
 18 COMMISSIONER BRAMWELL: Right. And the  
 19 e-mail itself doesn't actually cite any  
 20 historical significance other than familial  
 21 significance to this person, so --  
 22 COMMISSIONER LOPERA: I motion to approve  
 23 Ordinance 2018-0474, changing Gillen Street to  
 24 Cecil Wiggins Street.  
 25 COMMISSIONER KASPER: Second.  
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1 THE CHAIRMAN: All those in favor?  
 2 COMMISSION MEMBERS: Aye.  
 3 THE CHAIRMAN: Those opposed?  
 4 COMMISSION MEMBERS: (No response.)  
 5 THE CHAIRMAN: Hearing none, you've  
 6 successfully changed to Gillen Street to Cecil  
 7 Wiggins Street, so far at least.  
 8 Wagner Road to Jeanette.  
 9 MR. POPOLI: All right. So this is a  
 10 request to change Wagner Road to Jeannette C.  
 11 Holmes Road. The map here, you can see the  
 12 location of Wagner Road. It predominantly  
 13 fronts on vacant property.  
 14 Here, although difficult to see, is the  
 15 actual plat of the road (indicating). It  
 16 appears from our research the road was created  
 17 to access a handful of residential parcels.  
 18 The road was created in 1951 when the plat was  
 19 recorded.  
 20 Originally, the plat for this area was in  
 21 1926 and it just showed it as an unlabeled  
 22 egress. So we're not aware of any historical  
 23 significance. The only structures built along  
 24 the road were built in 1998, so they're  
 25 obviously not historic. The road doesn't occur  
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1 anywhere else in the city, or the name doesn't  
 2 occur anywhere else in the city, so we didn't  
 3 find any historical context to oppose changing  
 4 the name, so we're recommending approval for  
 5 that as well.  
 6 COMMISSIONER LOPERA: Christian, Erik  
 7 brought up that there's no ordinance for this.  
 8 MR. POPOLI: Correct. Typically, they  
 9 come to you before there's an ordinance number  
 10 and before they're introduced. The other two  
 11 had been introduced by a councilperson prior  
 12 to, so these are kind of in process, they have  
 13 ordinance numbers. This one does not because  
 14 it's following the normal procedure.  
 15 COMMISSIONER KASPER: I make a motion to  
 16 approve the renaming of Wagner Road to  
 17 Jeannette C. Holmes Road.  
 18 COMMISSIONER LOPERA: Second.  
 19 THE CHAIRMAN: All those in favor?  
 20 COMMISSION MEMBERS: Aye.  
 21 THE CHAIRMAN: Those opposed?  
 22 COMMISSION MEMBERS: (No response.)  
 23 THE CHAIRMAN: Hearing none, Wagner Road  
 24 to Jeannette Road, approved.  
 25 Moving on.  
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1 that they wanted somebody from the Commission  
 2 at this panel.  
 3 I have a handout. It's Thursday,  
 4 September 13th. The specific break-out session  
 5 is from 1:45 to 2:45. I don't know who else  
 6 will be on the panel. They were going to reach  
 7 out to the Downtown Investment Authority, maybe  
 8 the DDRB board, some local developers in the  
 9 downtown area.  
 10 At any rate, I suppose it's on you guys to  
 11 pick someone to be on the panel, if you so  
 12 choose. I'll pass out the information here.  
 13 I will point out that Maiju is not here.  
 14 COMMISSIONER LOPERA: All those in favor?  
 15 (Discussion held off the record.)  
 16 COMMISSIONER BRAMWELL: So it's 9 a.m. to  
 17 4 p.m.?  
 18 MR. POPOLI: That is the whole program,  
 19 and I imagine you're welcome to attend, but the  
 20 actual break-out session is in the afternoon.  
 21 COMMISSIONER KASPER: In your  
 22 understanding or experience, what does this  
 23 person need to do?  
 24 MR. POPOLI: I would imagine it would be  
 25 somebody who can speak on preservation  
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1 MR. POPOLI: Through the Chair, I have two  
 2 quick housekeeping items. One of them requires  
 3 some action on your part.  
 4 The first thing I'm going to hand out is  
 5 just a pamphlet on some training held by the  
 6 National Preservation Institute. It's not  
 7 something that the City funds, but there are  
 8 some interesting classes. If you're  
 9 interested, you can attend. They are  
 10 throughout the country. There are some  
 11 locally, but --  
 12 So the other thing -- we were contacted by  
 13 the Cultural Council. They host what they call  
 14 the State of the Arts Banquet, a luncheon, I  
 15 guess. And at this, they have a number of  
 16 people who attend, and they do break-out  
 17 sessions for discussion. They have a panel  
 18 discussing the redevelopment of downtown and  
 19 they would like a member from this commission  
 20 to be on that panel for discussion. Someone  
 21 from staff will also be there.  
 22 I think some of the questions will focus  
 23 on various tax incentives that our section  
 24 offers related to preservation. Some of them  
 25 may be more general, but they were specific  
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1 generally. I don't know the direction of the  
 2 conversation. The information is fairly broad.  
 3 I don't think these are terribly guided  
 4 discussion panels, but my sense is they are  
 5 really interested in what the role preservation  
 6 plays in the downtown redevelopment process.  
 7 Obviously, we have had a couple of  
 8 demolitions recently. There are a number of  
 9 big projects going on. So it does, I think,  
 10 play a role. We have some examples of the  
 11 Chophouse and the old city library that have  
 12 been renovated, so --  
 13 COMMISSIONER KASPER: Who's been on the  
 14 Commission the longest?  
 15 MR. POPOLI: That would be your chairman.  
 16 COMMISSIONER BRAMWELL: As far as anything  
 17 they ask, what are we not just going to be  
 18 deferring to you on?  
 19 MR. POPOLI: I imagine some of the  
 20 questions are probably more political in nature  
 21 than technical.  
 22 I did run this through the Public  
 23 Information Office, and the administration has  
 24 no issues with someone from the board attending  
 25 and speaking. I mean, you do have engineers,  
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1 architects and developers here who all have  
 2 some potential stake in downtown or local  
 3 knowledge. So I don't know, flip a coin. I  
 4 don't think it will be that scary.  
 5 COMMISSIONER DAVIS: Is lunch provided?  
 6 MR. POPOLI: I'll find out. Probably.  
 7 COMMISSIONER KASPER: I'll go.  
 8 THE CHAIRMAN: Great.  
 9 MR. POPOLI: I will give them your  
 10 information.  
 11 COMMISSIONER KASPER: Send me an e-mail  
 12 or --  
 13 MR. POPOLI: Yes. Absolutely.  
 14 THE CHAIRMAN: Copy me on that e-mail. I  
 15 might come hang out anyway.  
 16 MR. POPOLI: Okay.  
 17 THE CHAIRMAN: At least come watch.  
 18 COMMISSIONER BRAMWELL: That's kind of  
 19 what I was thinking.  
 20 THE CHAIRMAN: We're all going to go.  
 21 MR. POPOLI: I'll ask. I know that the  
 22 seats are paid. They're limited to, I think,  
 23 250. The information is on the website. If  
 24 you do want to attend, I can't spring for the  
 25 ticket for you.

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1 That's all I had.  
 2 THE CHAIRMAN: All right. Does anybody  
 3 else have anything?  
 4 COMMISSION MEMBERS: (No response.)  
 5 THE CHAIRMAN: All right. We are  
 6 adjourned.  
 7 (The above proceedings were adjourned at  
 8 6:40 p.m.)  
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1 CERTIFICATE OF REPORTER  
 2  
 3 STATE OF FLORIDA)  
 4 )  
 5 COUNTY OF DUVAL )  
 6  
 7 I, Diane M. Tropa, Florida Professional  
 8 Reporter, certify that I was authorized to and did  
 9 stenographically report the foregoing proceedings and  
 10 that the transcript is a true and complete record of my  
 11 stenographic notes.  
 12  
 13  
 14  
 15 DATED this 3rd day of September 2018.  
 16  
 17 \_\_\_\_\_  
 18 Diane M. Tropa  
 19 Florida Professional Reporter  
 20  
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 22  
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